



VILLAGE OF
PORT CHESTER

222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Department: Office of the Village Clerk

BOT Meeting Date: 2/16/16

Item Type: Resolution

Sponsor's Name: David Thomas, Village Clerk

Description	Yes	No	Description	Yes	No
Fiscal Impact	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Public Hearing Required	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Funding Source:			Strategic Plan Priority Area		
Account #:					
	Yes	No	N/A		
Agreement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Manager Priorities		
Strategic Plan Related	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A		

Agenda Heading Title

(Will appear on the Agenda as indicated below)

APPOINTMENT OF AARON ELIOT TO THE BEAUTIFICATION COMMISSION

Summary

Background:

Mr. Eliot has expressed interest in serving on the Beautification Commission which has an open position.

Proposed Action

That the Board of Trustees adopt the Resolution

Attachments

RESOLUTION

APPOINTMENT OF AARON ELIOT TO THE BEAUTIFICATION COMMISSION

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the following motion was adopted by the Board of Trustees of the Village of Port Chester, New York:

RESOLVED, that Aaron Elliot, residing in Port Chester New York be and hereby is appointed as a member of the Port Chester BEAUTIFICATION COMMISSION, effective immediately with said term to expire on February 16, 2019.

Approved as to Form:

Anthony M. Cerreto, Village Attorney



VILLAGE OF
PORT CHESTER

222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Department: Planning and Development Department
Department: Office of the Village Attorney

BOT Meeting Date: 2/16/2016

Item Type: Resolution

Sponsor's Name:	Anthony Cerreto, Village Attorney
Sponsor's Name:	Eric Zamft, Director of Planning & Economic Development

Description	Yes	No	Description	Yes	No
Fiscal Impact	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Public Hearing Required	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Funding Source:			BID #		
Account #:			Strategic Plan Priority Area		
	Yes	No	Transit Oriented Development		
Agreement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Manager Priorities		
Strategic Plan Related	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Planning & Zoning		

Agenda Heading Title
(Will appear as indicated below on Agenda)

Acceptance of Petition of the Capitol Theatre Zoning Amendment for Review and Consideration

Summary

On January 4, 2016, the Capitol Theatre, LLC/Capitol Enterprises, Inc. (the "Applicant") filed a petition for a proposed zoning text amendment to the Village Code, Chapter 345, which seeks to modify Section 345-14(A)(3), with supporting documents requesting that the Board place the matter on the Board's agenda for review and consideration (the "Petition"). The Petition seeks to change restrictions with respect to parking requirements for the C5 Train Station Mixed-Use District contending that this would enhance the viability and growth of businesses located in the downtown business district.

The Applicant has since made a presentation to the Board more fully describing the Petition.

On the law, the Board of Trustees has the discretion to accept the Petition for review and consideration. This does not bind the Board to adopting the requested zoning amendment – it initiates the process for the Village’s review.

In reviewing the Petition and presentation, planning staff indicates that they cannot properly evaluate the requested zoning amendment or undertake the necessary SEQRA review on behalf of the Board without a greater understanding of existing parking conditions within the downtown area, the Applicant’s current parking usage, and the potential impact of the Petition beyond the project site on the availability of parking in the downtown area. As noted by the Applicant, the general availability of parking within the downtown area is tied to the economic vitality of the downtown area. Staff is mindful of some limited studies that may have been done, but nevertheless strongly recommends that as part of the review of the Petition or independent of such review, a more comprehensive parking study should be undertaken. In any event, there will need to be close interaction and cooperation with the Applicant to develop a strong record on the review of this key environmental impact.

Therefore, should the Board wish to proceed, the attached resolution undertakes the following actions:

1. Accepts the Petition for review and consideration
2. Notices the Board’s intention to declare itself lead agency under SEQRA
3. Refers the matter to the Planning Commission for study and report

Attachments
<ul style="list-style-type: none">• Department of Planning & Economic Development Memo

ACCEPTING THE PETITION OF THE CAPITOL THEATRE FOR AN AMENDMENT TO THE ZONING REGULATIONS WITHIN THE C5 TRAIN STATION MIXED USE DISTRICT WITH REGARD TO OFF-STREET PARKING REQUIREMENTS FOR REVIEW AND CONSIDERATION, DETERMINING THE CLASSIFICATION OF THE PROPOSED ACTION AS AN UNLISTED ACTION AND DECLARING THE VILLAGE OF PORT CHESTER BOARD OF TRUSTEES' INTENT TO ACT AS LEAD AGENCY FOR THE PROPOSED ACTION UNDER THE STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQRA) AND REFERRING THE MATTER TO THE PLANNING COMMISSION FOR STUDY AND REPORT TO THE BOARD OF TRUSTEES

On motion of TRUSTEE _____ seconded by TRUSTEE _____, the

following resolution was adopted by the Board of Trustees of the Village of Port Chester, New

York:

WHEREAS, on January 4, 2016 the Capitol Theatre, LLC/Capitol Enterprises, Inc. (the "Applicant") duly filed a petition for a proposed zoning text amendment to the Village Code, Chapter 345, which seeks to modify Section 345-14(A)(3), with supporting documents requesting that the Board place the matter on the Board's agenda for review and consideration (herein referred to as the "Petition"); and

WHEREAS, the Petition seeks to change restrictions with respect to parking requirements for the C5 Train Station Mixed-Use District in order to enhance the viability and growth of businesses located in the downtown business district; and

WHEREAS, the Board finds that the determination to accept the Petition is entrusted to the Board's sole discretion; and

WHEREAS, the Village of Port Chester is committed to the economic revitalization of Port Chester that is sustainable both environmentally and socioeconomically; and

WHEREAS, the general availability of parking within the downtown area is a concern of the Village of Port Chester and the Board of Trustees acknowledges that it is a complex issue that has impacts upon the economic vitality of the downtown area; and

WHEREAS, the Petition is tied to the general availability of parking within the downtown area and that economic vitality; and

WHEREAS, the Board has been advised that Village staff cannot properly evaluate the Petition without a greater understanding of existing parking conditions within the downtown area, the Applicant's current parking usage, and the potential impact of the Petition beyond the project site on the availability of parking within the downtown area; and

WHEREAS, the Board's action to accept the petition for review and consideration requires a public process of review and comment with regard to potential impacts and mitigation under the State Environmental Quality Review Act (SEQRA); and

WHEREAS, the Board further finds that the determination as to whether to adopt the zoning amendments proposed is also entrusted to the Board's sole discretion. Now, therefore, be it

RESOLVED, that the Village of Port Chester Board of Trustees accepts the Petition as presented for review and consideration; and be it further

RESOLVED, the Board finds that the Petition is an Unlisted Action pursuant to NYCRR 617 of the SEQRA regulations; and be it further

RESOLVED, that the Board of Trustees hereby gives notice of its intent to be Lead Agency for the purpose of reviewing the Petition and any necessary related land use approvals; and that this Notice of Intent, the Petition and exhibits thereto, including the Environmental Assessment Form, be circulated to the following Involved Agencies and Interested Agencies:

Potential Involved and Interested Agencies:

New York State Department of Environmental Conservation, Region 3
ATTN: Daniel Whitehead, Regional Permit Administrator
21 South Putt Corners Road
New Paltz, NY 12561-1620

Westchester County Planning Board
ATTN: Jeremiah Lynch, Chairman
148 Martine Avenue
White Plains, NY 10601

Westchester County Department of Public Works
ATTN: Jay Pisco, Commissioner
148 Martine Avenue
White Plains, NY 10601

Port Chester Planning Commission
ATTN: Gregg Gregory, Chairman
Port Chester Village Hall
222 Grace Church Street
Port Chester, NY 10573

Port Chester Zoning Board of Appeals
ATTN: William Villanova, Chairman
Port Chester Village Hall

222 Grace Church Street
Port Chester, NY 10573

Environmental Notice Bulletin (ENB)

; and be it further

RESOLVED, that the matter be referred to the Planning Commission for their study and report.

Approved as to Form:

Village Attorney
Anthony Cerreto

ROLL CALL

AYES:

NOES:

ABSENT:

DATE: February 16, 2016



VILLAGE OF PORT CHESTER
DEPARTMENT OF PLANNING & ECONOMIC
DEVELOPMENT

222 Grace Church Street, Rm. 202
Port Chester, NY 10573
(P) 914.937.6780
(F) 914.939-2733

Eric Zamft, AICP, Director of Planning & Economic
Development
Andrea Sherman, Assistant Planner
Constance Phillips, Planning Commission Secretary

To: Board of Trustees
From: Eric Zamft, AICP, Director of Planning & Development
cc: Christopher Steers, Village Manager; Tony Cerreto, Village Attorney
Date: February 10, 2016
Re: Capitol Theatre Zoning Petition

Members of the Board,

The Capitol Theatre, LLC/Capitol Enterprises, Inc. (the “Applicant”) filed a petition for a proposed zoning text amendment to the Village Code, Chapter 345, which seeks to modify Section 345-14(A)(3), with supporting documents requesting that the Board place the matter on the Board’s agenda for review and consideration (herein referred to as the “Petition”). This memorandum serves to advise the Board of Trustees on that Petition and specifically the ability of staff to review and advise on such Petition. At the heart of the Petition and the issue is parking in the downtown area.

Overview

Parking in downtown areas within the New York Metropolitan region is a major challenge. Communities throughout the region are examining their parking situations and working on strategies to provide ample parking, while promoting walkability and, where applicable, transit-oriented development (TOD). These strategies range from conducting parking audits, improving signage to underutilized parking areas, changing parking regulations, unbundling parking from development, using phone apps, and a host of other parking management techniques.

However, prior to implementing parking management strategies, a community must understand the existing condition – what is happening now – in order to identify the issues and, subsequently the solutions.

The Village of Port Chester is no different. Parking is an issue that is relevant to many if not most applications within the downtown area – whether in the individual petition itself, raised by staff or the Village’s consultants, or by the public. There is a perception that there is not enough parking for patrons and residents to enjoy the downtown restaurants, shops, and venues and that it will only get worse with each additional development. The crux of the issue is that we do not have the data and analysis available to us to fully understand the existing conditions.

To that end, the Department of Planning and Development has had preliminary discussions with the Village Manager and other Village staff regarding the possibility of conducting a parking management study for at least the downtown.

Application to the Petition

The Petition seeks to change restrictions with respect to parking requirements for the C5 Train Station Mixed-Use District in order to enhance the viability and growth of businesses located in the downtown business district. Therefore, parking is the issue that needs to be addressed in the review of such Petition; the other categories that are typically analyzed in a zoning change and the SEQRA process are not vital to the question of this petition. That being said, they will be examined, to the extent necessary, as part of the Long Environmental Assessment Form (“EAF”) to satisfy SEQRA requirements.

The Applicant notes that a number of studies have been conducted with regards to parking, including:

- Route 1/North Main Street Corridor Study (Pages 38-5), by Ferrandino & Associates, Inc. (November 2012)
- Preliminary Parking Garage Feasibility Analysis, by Desmen Associates (November 5, 2012)
- Irving Avenue Parking Structure Final Report, by Desmen Associates (December 2012)
- Parking correspondence as part of the December 14, 2012 Site Plan Application (Supplemental Submission) to the Planning Commission, including a Parking Map and Parking Requirement Compliance
- Village of Port Chester Comprehensive Plan (Pages 39-), by BFJ (December 17, 2012)
- Traffic and Parking Management Plan, by TRC Engineers, Inc. for the Applicant – February 5, 2013
- Parking Analysis and Management Plan Preliminary Findings, by TRC Engineers, Inc. for the Applicant – September 2, 2014
- Parking Analysis and Management Plan Preliminary Findings, by TRC Engineers, Inc. for the Applicant – September 29, 2014

However, due to the success of the revitalization efforts in downtown Port Chester, owed in large part to the Capitol Theatre, conditions have changed since the above-mentioned studies were conducted. In addition, the studies do not provide sufficient data or current data for the downtown area as a whole. In fact, the Applicant itself argues in its Petition that circumstances have changed in the downtown area since the adoption of the current parking requirements for the C5 Train Station Mixed-Use District.

To that end, the Department of Planning and Development needs additional data to understand the existing parking conditions within the downtown area and understand the Applicant’s current usage of parking in order to be able to advise the Board on the potential impacts of the petition.

Recommendation

Given the above and the expressed goal of the Department of Planning and Development to examine parking conditions within the downtown area independent of a specific petition, the Department suggests working with the Applicant along parallel tracks or in partnership to achieve that goal, as it will streamline the review process and make the

processing of the specific petition more efficient. Having the most current and comprehensive data regarding the downtown parking environment is the first step in allowing us to improve it, which will be a true public benefit to the Village and its residents.



VILLAGE OF
PORT CHESTER
222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Department: Planning and Development Department
Department: Office of the Village Attorney

BOT Meeting Date: 2/16/2016

Item Type: Resolution

Sponsor's Name:	Anthony Cerreto, Village Attorney
Sponsor's Name:	Eric Zamft, Director of Planning & Economic Development

Description	Yes	No	Description	Yes	No
Fiscal Impact	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Public Hearing Required	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Funding Source:			BID #		
Account #:			Strategic Plan Priority Area		
	Yes	No	Transit Oriented Development		
Agreement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Manager Priorities		
Strategic Plan Related	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Planning & Zoning		

Agenda Heading Title
(Will appear as indicated below on Agenda)

G&S Zoning Petition

Summary

On October 1, 2015, G&S Port Chester LLC (the "Applicant") submitted an Amended Petition to the Board for amendments to (i) the Urban Renewal Plan for the MMRP, (ii) the regulations of the MUR MMRP Urban Renewal District of the Village of Port Chester, and (iii) the Concept Development Plan of the MMRP to permit residential use of the Property, and to amend the MMRP Urban Renewal Plan and MUR District regulations to add a multifamily dwelling parking regulation to the required parking table (the "Petition").

At the December 29, 2015 Waterfront Commission meeting, the Petition was discussed and on January 4, 2016, the Waterfront Commission issued a determination that the Petition was inconsistent with the Local Waterfront Revitalization Program (“LWRP”), adopted in 1992 and amended in 1999 (to specifically accommodate the G&S project as a commercial project at that time by prohibiting residential as a use).

Beginning at the January 4, 2016 Board of Trustees meeting and continuing to the February 1, 2016 meeting, the Board held a public hearing on among other things, the question of enactment of Local Law No. 02 of 2016, being a Local Law amending the official zoning map and the text of Chapter 345, Article XVI of the Village Code (Zoning).

At the February 1, 2016 meeting, the public hearing was closed and the Applicant was requested to resolve issues related to traffic and parking in order to satisfy the New York State Environmental Quality Act (“SEQRA”) process.

Given that, there are three separate matters that need to be resolved, in order that they need to be heard:

1. **LWRP Consistency** – Although the Village is currently in the process of receiving adoption of an update to its LWRP, we are currently still bound by the 1992 (as amended in 1999) version. The Waterfront Commission found the Petition to be inconsistent with the 1992 LWRP (even though there were a number of other objections, the primary threshold was the use, as residential is precluded in that sub-area; the other objections are more appropriate for site plan approval). However, per that 1992 LWRP, the Board has the ability to have a finding that the action should proceed. The attached memorandum from staff describes how such a finding could be provided. The Board would need to adopt such finding for the project to continue.
2. **SEQRA Determination of Significance** – The Board is the Lead Agency under SEQRA. Staff, consultants, and Special Counsel have been reviewing the provided material, including the most recent request for additional information on traffic and parking. Should that be satisfactory, the Board would need to adopt a determination of significance – i.e., a Negative Declaration. This would complete the SEQRA process. As of the date of this memorandum, staff just received the updated traffic and parking information and have forwarded that to the Village’s traffic consultant and Special Counsel. They will review the information and Special Counsel is anticipated to provide the SEQRA Determination of Significance and Board resolution prior to Tuesday.
3. **Zoning** – Once the SEQRA process is closed, the Board has the ability to make a determination on the actual zoning text and map amendment, as formulated in Local Law No. 02 of 2016.

Therefore, should the Board wish to proceed, the attached resolutions undertake the following actions:

1. Adopts the Board's LWRP Findings
2. Adopts the SEQRA Determination of Significance
3. Adopts the Local Law

Attachments
<ul style="list-style-type: none">• Department of Planning & Economic Development Memo• Waterfront Commission Determination• Draft resolution on LWRP Findings• Draft resolution for SEQRA determination of significance• Draft determination of significance• Draft Local Law

RESOLUTION

FINDINGS OF THE VILLAGE OF PORT CHESTER BOARD OF TRUSTEES WITH REGARDS TO THE CONSISTENCY OF THE G&S RETAIL D PETITION WITH THE VILLAGE'S ADOPTED 1992 LOCAL WATERFRONT REVITALIZATION PLAN

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the

following resolution was adopted by the Board of Trustees of the Village of Port Chester, New

York:

WHEREAS, on October 1, 2015, the Village Board of Trustees received an amended zoning petition from G&S Port Chester LLC (herein referred to as "Applicant") to amend the respective zoning map and text amendments to the Urban Renewal Plan for the Modified Marina Redevelopment Project, regulations to the MUR Marina Redevelopment Project Renewal District, and Concept Development Plan of the Modified Marina Redevelopment to permit multi-family residential development (the "action" or "petition" or "proposal"); and

WHEREAS, the proposal includes the parcels designated as Section 142.31, Block 1, Lots 3, 4, 5, 6, 20, 21, 22, 23 and 24 of the Town of Rye Official Tax Map as well as the interstitial Liberty Street Right-of-Way; and

WHEREAS, the proposal specifically seeks creation of a new "MUR-MU Marina Urban Redevelopment Mixed Use District" to develop the subject site for a mixed residential and commercial use development, consisting of approximately 12,000 square feet of ground floor retail space and 60,000 square feet of residential space (79 residential dwelling units, primarily studios and one-bedroom units), which includes a density bonus provision for additional floor area; and

WHEREAS, pursuant to Chapter 332 of the Village Code and in congruence with the Village of Port Chester's current (1992, as amended in 1999) Local Waterfront Revitalization Program ("LWRP") regulations, the Village of Port Chester Waterfront Commission ("Waterfront Commission") is responsible for evaluating the proposed action against the policies and purposes of the adopted LWRP and provide such determination to the Lead Agency (the Board of Trustees).

WHEREAS, as part of its petition submission, the Applicant provided a Coastal Assessment Form for review by the Waterfront Commission.

WHEREAS, on December 29, 2015 said petition was heard by the Village of Port Chester Waterfront Commission at its meeting; and

WHEREAS, at the December 29, 2015 Waterfront Commission meeting the Waterfront Commission voted that the petition was inconsistent with the 1992 LWRP, as indicated in its January 4, 2016 determination; and

WHEREAS, the Waterfront Commission was bound by the 1992 LWRP since the proposed updated LWRP is currently being reviewed by the New York Department of State ("NYS DOS"), resulting in the determination of inconsistent; and

WHEREAS, the Waterfront Commission's January 4, 2016 determination included a number of concerns regarding potential development at the subject site; and

WHEREAS, the LWRP, under Section 5.3, provides the management structure necessary to implement the LWRP, including the ability for Village agencies to issue their own findings; and

WHEREAS, the LWRP, under Section 5.3.C contains four (4) conditions that must be met for a Village agency in determining if a project or action should proceed; and

WHEREAS, the Village of Port Chester Department of Planning and Economic Development evaluated said petition regarding each of the four (4) conditions, as presented in a February 10, 2016 memorandum from the Director of Planning and Economic Development to the Board of Trustees; and

WHEREAS, the February 10, 2016 memorandum further recommended that the Board of Trustees prepare and issue findings on said petition, and

WHEREAS, the February 10, 2016 memorandum further recommended that the Waterfront Commission's concerns noted in its January 4, 2016 determination be addressed as part of the Village's site plan approval process.

NOW, THEREFORE, be it

RESOLVED, that the Board of Trustees of the Village of Port Chester finds that said petition fits the threshold of each of the four (4) conditions as follows:

- **Condition 1** – *No reasonable alternatives exist which would permit the action to be undertaken in a manner which will not substantially hinder the achievement of such LWRP policy standards and conditions.*

Development of any type will incur impacts to local resources, and any construction at this site will utilize public infrastructure. This includes land uses that are currently allowed in the MUR District's existing zoning regulations, as well as the uses possible as part of the proposed zoning district, notably residential.

The "no-action" alternative would be to leave the project site vacant. However, doing so will directly hinder the LWRP's policy objectives, which state a need to redevelop land in the Downtown Subarea. Therefore, such alternative would hinder the achievement of the LWRP's standards and conditions and is considered not reasonable.

A second alternative would be to develop the project site under the existing MUR District regulations. Under such zoning, the Applicant had proposed a multi-story building for retail and commercial use. These uses would increase traffic generation and parking demand more than the mixed-use option currently proposed, resulting in additional traffic and air quality impacts. Therefore, such alternative would hinder the achievement of the LWRP's standards and conditions and is considered not reasonable.

The proposed petition is consistent with Condition 1 that no reasonable alternatives exist that would not substantially hinder the achievement of LWRP policy standards and conditions.

- **Condition 2** – *The action would be undertaken in a manner which will minimize all adverse effects on such LWRP policy standards and conditions to the maximum extent practicable.*

The proposed action is consistent with Condition 2 in that it would be undertaken in a manner that would minimize adverse impacts to the maximum extent practicable. The proposed action, a zoning change, will not incur adverse impacts in and of itself. Rather, it is the forthcoming site specific plan that will and should be evaluated to ensure minimal adverse effects on LWRP policy standards and conditions. This will take place during the Village’s site plan approval process to the maximum extent practicable.

- **Condition 3** – *The action will advance one or more of the other coastal policies.*

The proposed action is consistent with Condition 3 as it will advance two additional coastal policies:

Policy 1: Restore, revitalize and redevelop deteriorated and underutilized waterfront areas for commercial, industrial, cultural, recreational and other compatible uses.

Policy 1D: Redevelop Port Chester owned land in Subarea IV, the Downtown Subarea for commercial, recreational, residential and other compatible uses.

- **Condition 4** – *The action will result in an overriding Village, regional or State-wide public benefit.*

Said action is consistent with Condition 4 since it will result in an overriding Village public benefit to develop its downtown area and waterfront in a smart growth, transit-oriented fashion. Said action is within walking distance of the Port Chester train station and Main Street and will help to bring new residents and foot-traffic to the downtown area. These new residents and shoppers will provide significant economic benefits to the Village as patrons to local stores and restaurants. Inclusion of retail uses on the first floor will also provide economic benefits by adding to the Village’s non-residential tax base; and be it further

RESOLVED, that, based on the foregoing, the Board, as the Lead Agency, finds that said petition shall be permitted to proceed.

Approved as to Form:

Village Attorney
Anthony Cerreto

ROLL CALL

AYES:

NOES:
ABSENT:

DATE: February 16, 2016



VILLAGE OF PORT CHESTER
DEPARTMENT OF PLANNING & ECONOMIC
DEVELOPMENT

222 Grace Church Street, Rm. 202
Port Chester, NY 10573
(P) 914.937.6780
(F) 914.939-2733

Eric Zamft, AICP, Director of Planning & Economic
Development
Andrea Sherman, Assistant Planner
Constance Phillips, Planning Commission Secretary

To: Board of Trustees
From: Eric Zamft, AICP, Director of Planning & Development
cc: Christopher Steers, Village Manager; Tony Cerreto, Village Attorney
Date: February 10, 2016
Re: Consistency Determination for "Retail D" Petition

Members of the Board,

Background:

This memorandum provides a discussion of the consistency of the Coney's Lot/Retail D amended petition (the "Petition") submitted by G&S Port Chester, LLC (the "Applicant") on October 1, 2015 with the Village's currently adopted Local Waterfront Revitalization Program ("LWRP"), adopted in 1992 (and which include the 1999 amendments).

As you may well know, the Village is currently coordinating an update to the LWRP with the New York State Department of State ("NYS DOS"). Until the updated LWRP is adopted by the Board of Trustees, the Village is required to review actions and applications against the 1992 LWRP.

Pursuant to Chapter 332 of the Village Code and in congruence with the LWRP regulations, the Waterfront Commission is responsible for evaluating the proposed action against the policies and purposes of the adopted LWRP and provide such determination to the Lead Agency (the Board of Trustees).

As part of its petition submission, the Applicant provided a Coastal Assessment Form for Commission review. At the December 29, 2015 Waterfront Commission meeting, the Waterfront Commission voted that the petition was inconsistent with the 1992 LWRP (see attached).

As Lead Agency, the Board of Trustees may make a consistency determination different than a determination made by the Waterfront Commission (LWRP, Section 5.3). The LWRP lists four (4) conditions that must be met for an action to proceed if the Waterfront Commission finds it inconsistent, as follows:

- 1. No reasonable alternatives exist which would permit the action to be undertaken in a manner which will not substantially hinder the achievement of such LWRP policy standards and conditions*
- 2. The action would be undertaken in a manner which will minimize all adverse effects on such LWRP policy standards and conditions to the maximum extent practicable.*
- 3. The action will advance one or more of the other coastal policies.*
- 4. The action will result in an overriding Village, regional or State-wide public benefit.*

Analysis:

To that end, the Department of Planning and Economic Development evaluated said petition against the Waterfront Commission's determination under each of the four (4) conditions. That analysis follows.

- **Condition 1** – *No reasonable alternatives exist which would permit the action to be undertaken in a manner which will not substantially hinder the achievement of such LWRP policy standards and conditions.*

Development of any type will incur impacts to local resources, and any construction at this site will utilize public infrastructure. This includes land uses that are currently allowed in the MUR District's existing zoning regulations, as well as the uses possible as part of the proposed zoning district, notably residential.

The "no-action" alternative would be to leave the project site vacant. However, doing so will directly hinder the LWRP's policy objectives, which state a need to redevelop land in the Downtown Subarea. Therefore, such alternative would hinder the achievement of the LWRP's standards and conditions and is considered not reasonable.

A second alternative would be to develop the project site under the existing MUR District regulations. Under such zoning, the Applicant had proposed a multi-story building for retail and commercial use. These uses would increase traffic generation and parking demand more than the mixed-use option currently proposed, resulting in additional traffic and air quality impacts. Therefore, such alternative would hinder the achievement of the LWRP's standards and conditions and is considered not reasonable.

The proposed petition is consistent with Condition 1 that no reasonable alternatives exist that would not substantially hinder the achievement of LWRP policy standards and conditions.

- **Condition 2** – *The action would be undertaken in a manner which will minimize all adverse effects on such LWRP policy standards and conditions to the maximum extent practicable.*

The proposed action is consistent with Condition 2 in that it would be undertaken in a manner that would minimize adverse impacts to the maximum extent practicable. The proposed action, a zoning change, will not incur adverse impacts in and of itself. Rather, it is the forthcoming site specific plan that will and should be evaluated to ensure minimal adverse effects on LWRP policy standards and conditions. This will take place during the Village's site plan approval process to the maximum extent practicable.

- **Condition 3** – *The action will advance one or more of the other coastal policies.*

The proposed action is consistent with Condition 3 as it will advance two additional coastal policies:

Policy 1: Restore, revitalize and redevelop deteriorated and underutilized waterfront areas for commercial, industrial, cultural, recreational and other compatible uses.

Policy 1D: Redevelop Port Chester owned land¹ in Subarea IV, the Downtown Subarea for commercial, recreational, residential and other compatible uses.

- **Condition 4** – *The action will result in an overriding Village, regional or State-wide public benefit.*

Said action is consistent with Condition 4 since it will result in an overriding Village public benefit to develop its downtown area and waterfront in a smart growth, transit-oriented fashion. Said action is within walking distance of the Port Chester train station and Main Street and will help to bring new residents and foot-traffic to the downtown area. These new residents and shoppers will provide significant economic benefits to the Village as patrons to local stores and restaurants. Inclusion of retail uses on the first floor will also provide economic benefits by adding to the Village's non-residential tax base.

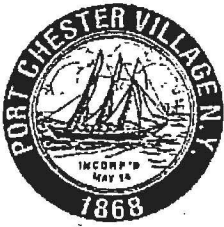
Recommendation:

Based upon the above analysis of the four (4) consistency conditions, the Department of Planning and Economic Development recommends that the Board of Trustees prepares and adopts its own written findings and that such findings state that said petition shall be able to proceed.

Note that the Waterfront Commission, in its evaluation of the LWRP Coastal Assessment Form and its Addendum, highlights a number of concerns. These concerns are related to a specific plan for the site, rather than its zoning. The Department of Planning and Economic Development suggests that such concerns be discussed as part of the site plan approval process.

¹ Note that at the time the LWRP was written in 1992, the subject site was under the Village of Port Chester's ownership. The land was later conveyed to the Port Chester Industrial Development Agency, who leased it to the Applicant as part of the larger Modified Marina Redevelopment Project.

**Waterfront Commission
LWRP Coastal Assessment Form and Addendum**



Village of Port Chester Waterfront Commission

222 Grace Church Street
Port Chester, NY 10573
Phone 914-937-6780



LWRP COASTAL ASSESSMENT FORM

An applicant seeking an approval for a non-excluded action from any agency of the Village of Port Chester which is subject to the Village of Port Chester Local Waterfront Revitalization Program (LWRP) must complete this form. This form is intended to assist the Village Waterfront Commission in determining if the proposed action is consistent with the policies and purposes of the LWRP.

SITE IDENTIFICATION INFORMATION		
Application Name: MUR Amendment	Application #:	Date Submitted:
Site Address: Section 142.031, Block 1, Lots 3, 4, 5, 6, 20, 21, 22, 23, and 24 No. Street:		
Property Location: (Identify landmarks, distance from intersections, etc.) Bounded: West by N. Main Street, East by Abendoth Avenue and South by Westchester Avenue		
Village of Port Chester Tax Map Designation: Section 142.031 Block 1 Lot(s) 3,4,5,6,20,21,22,23 and 24	Zoning Designation of Site: MUR	
OWNER/APPLICANT INFORMATION		
Property Owner: G & S PORT CHESTER LLC	Phone #: 914-481-1880 Fax #: 914-206-4858	Email: ddt@tartagliaalawgroup.com
Owner Address: No. 211 Street: East 43rd Street, 25th floor Town: New York State: NY Zip:		
Applicant (If different than owner):	Phone #: Fax #:	Email:
Applicant Address (If different than owner): No. Street: Town: State: Zip:		
PROJECT DESCRIPTION		
Describe the project, proposed use and operation thereof: the MMRP Urban Renewal Plan and the regulations of the MUR District be amended to create a new district to be referred to as the "MUR-Mixed Use District" specifically limited to Land Use Area 2, that will principally permit: (i) multi-family dwellings (floors above first floor); and require (ii) maximum building height of five (5) stories or 70 feet; (iii) maximum Floor Area Ratio of 3.7 (iii) minimum lot area per dwelling unit of 240 sq. ft.; (iv) no requirement for lot width or lot depth; (v) no minimum yard requirements; and (vi) no minimum usable open space per dwelling unit		

BAD

CONSISTENCY WITH LWRP POLICIES

Actions to be undertaken within the Village's coastal area shall be evaluated for consistency in accordance with the following LWRP policy standards and conditions, which are derived from and further explained and described in Section III of the Village of Port Chester LWRP, a copy of which is on file in the Village Clerk's office and available for inspection during normal business hours. Agencies that undertake direct actions shall also consult with Section IV of the LWRP in making their consistency determination.

*YES indicates that the proposed project/action is consistent with the applicable policy,
 NO indicates that the proposed project/action is inconsistent with the applicable policy,
 NOT APPLICABLE indicates that it does not apply.*

Restore, revitalize and redevelop deteriorated and underutilized waterfront areas for commercial, industrial, cultural, recreational, public access and other compatible uses (Policies 1, 1A, 1B, 1C, 1D and 1E).	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Facilitate the siting of water dependent uses on or near coastal waters (Policy 2).	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Encourage the development and enhancement of those traditional uses and activities which have provided the Village a unique maritime identity (Policy 4).	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Ensure that development occurs where adequate public infrastructure is available (Policy 5).	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
<p align="center"><i>See ATTACHMENT</i></p> Streamline development permit procedures (Policy 6).	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Protect fish and wildlife resources from hazardous wastes and other contaminating pollutants (Policy 8).	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
<p align="center"><i>See ATTACHMENT</i></p> Maintain and expand the recreational use of existing fish and wildlife resources while ensuring protection of renewable fish and wildlife resources (Policy 9).	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Maintain and expand commercial fishing resources to promote commercial fishing opportunities (Policy 10).	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable

BAD

Minimize flooding and erosion hazards through proper siting of buildings and structures; construction of carefully selected, long-term structural measures; and the use of appropriate nonstructural means (Policies 11, 13, 14, 15 and 17).

Yes No
 Not Applicable

SEE ATTACHMENT

Public funds shall be used for erosion protection structures only where necessary and in an appropriate manner (Policy 16).

Yes No
 Not Applicable

Safeguard vital economic, social and environmental interests in the coastal area when major actions are undertaken (Policy 18).

Yes No
 Not Applicable

Protect, maintain, and improve public access to the shoreline and to water-related recreational resources, while protecting natural and historic resources and adjacent land uses and providing a continuous public walkway along the foreshore of the Byram River (Policies 19, 20 and 20A).

Yes No
 Not Applicable

SEE ATTACHMENT

Encourage, facilitate and prioritize water-dependent and water-enhanced recreational resources and facilities near coastal waters, with priority given to those near access to existing public transportation and areas where the use of the shore is severely restricted by existing development (Policy 21).

Yes No
 Not Applicable

Encourage the development of water-related recreational resources and facilities, as multiple uses, in appropriate locations within the shore zone (Policy 22).

Yes No
 Not Applicable

Protect, restore and enhance historic resources (Policy 23).

Yes No
 Not Applicable

Protect and enhance scenic and aesthetic resources (Policy 25).

Yes No
 Not Applicable

Site and construct energy facilities in a manner which will be compatible with the environment and contingent upon the need for a shorefront location and in such a manner as to avoid adverse environmental impacts when in operation (Policies 27 and 29).

Yes No
 Not Applicable

BAD

Protect coastal waters from direct and indirect discharge of pollutants (Policies 30, 31, 33, 34, 35, 36 and 37).

Yes No
 Not Applicable

SEE ATTACHMENT

Ensure that dredging and dredge spoil disposal are undertaken in a manner protective of natural resources (Policies 15 and 35).

Yes No
 Not Applicable

Ensure that any transportation, handling or disposal of hazardous wastes and effluent is undertaken in a manner which will not adversely affect the environment (Policy 39).

Yes No
 Not Applicable

SEE ATTACHMENT

Protect air quality in accordance with state and federal air quality standards (Policies 41 and 42).

Yes No
 Not Applicable

SEE ATTACHMENT

Preserve and protect tidal and freshwater wetlands (Policy 44).

Yes No
 Not Applicable

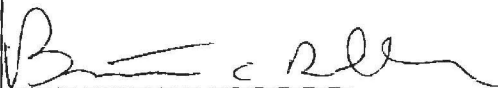
SEE ATTACHMENT

DETERMINATION OF CONSISTENCY

To be filled out by the Waterfront Commission

- This project/action is consistent with LWRP Policies and Conditions
- This project/action is NOT consistent with LWRP Policies and Conditions

The following changes to the project/action are recommended to ensure consistency with the LWRP:



Waterfront Commission Chairman

1/4/16

Date

Addendum to
LWRP Coastal Assessment Form

MUR Amendment
Section 142.031, Block 1, Lots 3,4,5,6,20,21,23 and 24

Policy 5, The Commission is concerned that adequate public infrastructure is not available beyond the likely life of the proposed Zoning change for the proposed use as described by the applicant.

Findings, The Commission has concern over the long term viability of the Buckley Drain as it transverses the above referenced location. The current condition of the drain which services a high volume of the Village of Port Chester for storm water drainage has particular effect on the majority of the Downtown Waterfront Revitalization Zone and its economic success and viability.

So much so that the Commission considers this drain and its continued operation as critical in nature.

Major flooding has been demonstrated in the past as storm drain water overflow rises out of the sewers along both North & South Main Street, Abendroth Avenue and Westchester Avenue between Waterfront Place and Broad Street.

The Commission has also identified the basin area formed by the convergence of Hasco, Bush and Glen Avenues where the Buckley drain first enters the piping system to the eventual end at the Byram River as a high potential should the piping system fail as this is where the open stream would back up after the flow becomes greater than what can flow out of the street drains which are connected to the Buckley Drain is overwhelmed between the above mentioned site and the start of the piping.

Besides flooding, the commission is concerned about the general flow of pedestrian traffic as an economic condition as well.

The applicant proposes no onsite parking, however there are a considerable number of pedestrians envisioned wanting to ingress and egress the site on a daily basis. Pedestrian safety is of the upmost concern for the economic viability of the Waterfront District and there are six lanes of traffic to be crossed between the site and the proposed parking area. As for general parking daytime parking there are four lanes. All turning lanes in this intersection make use of turning arrows to improve traffic flow but this practice occurs at the expense of adequate time for pedestrians to cross safely.

Finally, the Commission has concerns over traffic and the operation of the loading / unloading of passengers and the arrival and backing up of moving vans as rental units show a high turnover rate for two reasons.

Bad

Reason one, The elevation of this entrance seems to be below the 100 year flood mark. How does this affect the viability of the project and its use pattern?

Reason two, The proposal does not provide drive through access for large vehicles, hence this would then require traffic interruptions when large vehicles approach the site so that they can back into the site. This occurs now in a number of places in the LWRP area and may be a factor with its proximity to the intersection.

Policy 8, The applicant has checked off "Not Applicable", the Commission disagrees and calls for the best practices be defined and made as a condition of approval to insure compliance with the policies of the LWRP.

Policy 11, 13, 14, 15 and 17 as well as Policy 18, The Commission disagrees with the applicants "No" answer and refers back to the Buckley drain discussion.

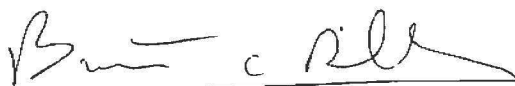
Policy 19, 20 and 20A, The Commission disagrees with the applicant's answer of "Not Applicable". Because there is no onsite parking being provided, the Commission believes that the economic viability clearly dictates that any approval must be subject to assigned parking limited to the parking structure on Waterfront Place. Any designated parking in any of the lots along the Byram River will detract from public access and the economic goals of the LWRP.

Policy 30,31,33,34,35,36 and 37, The Commission agrees with the applicant's answer but highlights the need in all the approval stages that best practices and the most modern methods be implemented.

Policy 39, 41 and 42, The Commission agrees with the applicant's answer but highlights the need in all the approval stages that best practices and the most modern methods as well as strict adherence to ALL Federal, State, County and Local Laws be fully described and be implemented as to achieve the goals of the LWRP.

Policy 44 , The Commission disagrees with the applicant's answer of "Not Applicable". There are State and Federal identified tidal wetlands with 500 feet of the site. The need for a plan including remediation measures are essential and of the utmost importance for the Commission and the objective of the LWRP.

General comment, The Commission has an overarching concern about construction staging, delivery of materials to the site, motor vehicle traffic lane closures and sidewalk closures during the construction period. This can't be left to experts alone and must be incorporated into the approvals before a building permit is issued.

 1/4/16
Brent C. Rill
CHAIRMAN, PORT CHESTER WATERFRONT COMMISSION

RESOLUTION

ADOPTING LOCAL LAW NO. 02 OF 2016 AMENDING CHAPTER 345, ARTICLE XVI OF THE PORT CHESTER VILLAGE CODE (ZONING)

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the

following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, G&S Port Chester LLC (the “Applicant”) owns the property parcels known as Section 142.031, Block 1, Lots 3, 4, 5, 6, 20, 21, 22, 23, and 24 of the Town of Rye Official Tax Map and interstitial Liberty Street Right-of-Way, which consists of approximately 23,138 square feet (the “Property”); and

WHEREAS, on 1999, the Applicant received approval from the Board of Trustees (hereinafter referred to as the “Board”) to develop the Property for retail use as part of the Modified Marina Redevelopment Project (MMRP) in 1999; and

WHEREAS, such approval allows use of the Property for 48,000 gross square feet of retail use (approximately 40,000 net square feet of such use); and

WHEREAS, on December 5, 2014, the Applicant submitted a Petition to the Board to amend the zoning map and text amendments to the Urban Renewal Plan for the MMRP, regulations to the MUR Marina Redevelopment Project Renewal District, and Concept Development Plan of the Modified Marina Redevelopment to permit multi-family residential development of the Property and to add a multifamily dwelling parking regulation for the required parking table; and

WHEREAS, on October 1, 2015, the Applicant submitted an Amended Petition to the Board for amendments to (i) the Urban Renewal Plan for the MMRP, (ii) the regulations of the MUR MMRP Urban Renewal District of the Village of Port Chester, and (iii) the Concept Development Plan of the MMRP to permit residential use of the Property, and to amend the MMRP Urban Renewal Plan and MUR District regulations to add a multifamily dwelling parking regulation to the required parking table (the “Proposed Rezoning”); and

WHEREAS, the Applicant plans to develop the Property for a mixed residential and commercial use development, consisting of approximately 12,000 square feet of ground floor retail space and 60,000 square feet of residential space (79 residential dwelling units, primarily studios and one-bedroom units), which includes a density bonus provision for additional floor area (the Proposed Rezoning and proposed development are, collectively, the “Proposed Action”); and

WHEREAS; the Board held a public hearing on the Petition that commenced on January 4, 2016 and was closed on February 1, 2016 upon, among other things, the question of enactment of Local Law No. 02 of 2016, being a Local Law amending the official zoning map and the text

of Chapter 345, Article XVI of the Village Code (Zoning) as set forth on Exhibit “A” which is which is on file with the Village Clerk’s Office of the Village of Port Chester; and

WHEREAS, the Board of Trustees determined that the Proposed Action will not have a significant adverse impact on the environment as described in the Negative Declaration; and

WHEREAS, the Board of Trustees adopted the Negative Declaration on February 16, 2016.

NOW, THEREFORE, be it

RESOLVED, by the Village of Port Chester Board of Trustees that Local Law No. 02 of 2016, is hereby enacted as follows and effective upon its filing with the New York State Department of State:

LOCAL LAW NO. 02 of 2016

A local law amending the Official Zoning Map and the text of Chapter 345 of the Village Code, MUR Marina Redevelopment Project Renewal District and Concept Development Plan of the Modified Marina Redevelopment project to permit multi-family residential development in a portion of the project area known and designated as Retail “D” and more fully described as Section 142.31, Block 1, Lots 3, 4, 5, 6, 20, 21, 22, 23 and 24 on the Town of Rye Official Tax Map and an interstitial right-of-way shown on said tax map.

Approved as to Form:

Village Attorney
Anthony Cerreto

ROLL CALL

AYES:
NOES:
ABSENT:

DATE: February 16, 2016

LOCAL LAW NO. 02 of 2016

A LOCAL LAW AMENDING THE OFFICIAL ZONING MAP AND THE TEXT OF CHAPTER 345 OF THE VILLAGE CODE, MUR MARINA REDEVELOPMENT PROJECT RENEWAL DISTRICT AND CONCEPT DEVELOPMENT PLAN OF THE MODIFIED MARINA REDEVELOPMENT PROJECT TO PERMIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT IN A PORTION OF THE PROJECT AREA KNOWN AND DESIGNATED AS RETAIL “D” AND MORE FULLY DESCRIBED AS SECTION 142.31, BLOCK 1, LOTS 3, 4, 5, 6, 20, 21, 22, 23 and 24 ON THE TOWN OF RYE OFFICIAL TAX MAP AND AN INTERSTITIAL RIGHT-OF-WAY SHOWN ON SAID TAX MAP

Be it enacted by the Board of Trustees of the Village of Port Chester, New York as follows:

SECTION 1: The Code of the Village of Port Chester, Article XVI, Section 345-67, is hereby amended to read as follows:

345-67. MUR Marina Redevelopment Project Urban Renewal District

A. Purpose; area covered; zoning objectives; proposed actions.

(1) Area covered. An Urban Renewal Plan for the Village Center Urban Renewal Plan Area was adopted by the Board of Trustees of the Village of Port Chester, New York, on November 1, 1977. An Urban Renewal Plan for the Marina Redevelopment Urban Renewal Plan Area was adopted by the Board of Trustees of the Village of Port Chester, New York, on June 23, 1982. Each of these Urban Renewal Plans has been amended from time to time, the most recent of such amendments having been approved by the Village Board of Trustees on July 14, 1999, on the recommendation of the Planning Commission. The Urban Renewal Plans, as so amended, are sometimes collectively referred to below as the “Urban Renewal Plans.” The Urban Renewal Plan Amendment adopted on July 14, 1999, delineates an area referred to in such amendment as the “Modified Marina Redevelopment Project,” consisting of contiguous portions of the Village Center Urban Renewal Plan Area. The boundaries of the Modified Marina Redevelopment Project correspond to the boundaries of the zoning district designated on the Zoning Map as the “MUR Marina Redevelopment Project Urban Renewal District.”

(2) Zoning objectives. The objectives of the MUR Marina Redevelopment Project Urban Renewal District are to provide for comprehensive planning of redevelopment within the MUR Marina Redevelopment Project Urban Renewal District and to encourage and permit the development of uses which will result in or accomplish the following:

(a) Eliminate substandard, blighted, deteriorated and deteriorating conditions within the MUR Marina Redevelopment Project Urban Renewal District.

...

(c) **[Develop new commercial]** Encourage a mix of uses, including but not limited to retail, wholesale membership, warehouse club, multiscreen cinema theater, **[and]** supermarket **[uses]**, and residential uses[.] within and in the vicinity of the MUR Marina Redevelopment Project Urban Renewal District. Residential uses are permitted only in Land Use Area 2 as referenced in §345-

68, titled “Map of Land Use Areas and Streets Within the Modified Marina Redevelopment Project.”

...

B. Land use and development controls.

(1) Permitted land uses and development controls. Set forth in this Subsection B are land use and development controls for the MUR Marina Redevelopment Project Urban Renewal District. The controls set forth in this Subsection B will, during any period in which a special permit is granted and remains valid and in full force and effect under said Subsection B (4), replace and supersede all of the underlying controls. The land use areas referred to below in this Subsection B are shown in the map referenced in §345-68, which map is titled “Map of Land Use Areas and Streets Within the Modified Marina Redevelopment Project.”

(a) Land Use Area 1.

...

(b) Land Use Area 2.

[1] Permitted land uses: the same as Land Use Area 1 [.] and multi-family dwellings, except for multiscreen cinema theater, theaters and supermarket.

[2] [Permitted development: 40,000 square feet of building floor area.] Maximum Floor Area Ratio is 3.7.

[a]. Bonus floor area ratio program. Additional development potential in the form of bonus floor area ratio (FAR) can be earned for new development in the MUR District Land Use Area 2 and can achieve up to a maximum of 0.3 floor area ratio above the maximum floor area ratio as defined in §345-67(B)(1)(b)[2].

[b]The assessed value of the bonus floor area ratio shall be determined by the Town Assessor. The Village Board of Trustees may set a bonus program payment at a minimum of 15% of the assessed bonus floor area ratio.

[c]The Village Board of Trustees shall appropriate the bonus program payment into one or more of the three established funds as described in §345-16 for open space, housing rehabilitation, or a downtown public parking garage. All three of these funds shall be kept by the Village as dedicated funds in a separate account to be used only for their respective purposes as specified in §345-16 (C)(6).

[3] Permitted height: [three stories; 45 feet.] Five stories; 70 feet.

[4] Useable open space: A minimum requirement for useable open space is 25 square feet per dwelling unit.

...

(3) Other development controls and prohibited uses.

...

(g) The requirements for off-street parking for uses in the Marina Redevelopment Project Urban Renewal District shall be as follows:

...

[2] Minimum parking spaces.

...

[b] In determining the required minimum number of parking spaces for specific categories of use, the following standards shall be utilized:

Use	Number of Spaces
Retail, wholesale membership warehouse club, service and restaurant	

...

Multifamily Dwellings

Weekdays

Monday through Friday

<u>9:00 a.m.</u>	<u>.75 per 1,000 square feet of floor area</u>
<u>12:00 p.m.</u>	<u>.75 per 1,000 square feet of floor area</u>
<u>6:00 p.m.</u>	<u>1.0 per 1,000 square feet of floor area</u>
<u>9:00 p.m.</u>	<u>1.25 per 1,000 square feet of floor area</u>

Weekends

Saturday and Sunday

<u>9:00 a.m.</u>	<u>0.5 per 1,000 square feet of floor area</u>
<u>12:00 p.m.</u>	<u>0.5 per 1,000 square feet of floor area</u>

6:00 p.m.

1.0 per 1,000 square feet of floor area

9:00 p.m.

1.25 per 1,000 square feet of floor area

SECTION 2: The Amended Concept Development Plan dated May 20, 1999, made part of the Zoning Regulation pursuant to Article XVI, Section 345-68, of the Code of the Village of Port Chester, is hereby amended to permit development for multi-family dwellings in that portion of the Project Area of the Modified Marina Redevelopment Project known and designated as Retail “D” and more fully described as Section 142.31, Block 1, Lots 3, 4, 5, 6, 20, 21, 22, 23 and 24 of the Town of Rye Official Tax Map including an interstitial right-of-way shown on said map.

SECTION 3. Severability

If any provision of this local law is held to be invalid or unenforceable in whole or in part, such invalidity or unenforceability shall attach only to such provision or part thereof and the remaining part of such provision and all other provisions hereof shall continue in full force and effect.

SECTION 4. Effective Date

This local law shall take effect immediately as provided by law upon due publication and filing with the Secretary of State.

Brackets [] (in red) denote wording to be DELETED. .
Underlined denote wording to be ADDED



VILLAGE OF
PORT CHESTER

222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Department: Office of the Village Manager

BOT Meeting Date: 2/16/2016

Item Type: Resolution

Sponsor's Name: Richard F. Conway, Chief of Police

	Yes	No	Description	Yes	No
Fiscal Impact	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Public Hearing Required	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Funding Source:					
Account #:					
	Yes	No	Strategic Plan Priority Area	N/A	
Agreement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Manager Priorities		
Strategic Plan Related	<input checked="" type="checkbox"/>	<input type="checkbox"/>	N/A		

Agenda Heading Title

(Will appear on the Agenda as indicated below)

PROMOTION OF CERTAIN INDIVIDUALS WITHIN
THE POLICE DEPARTMENT

Summary

Background:

Attached are five resolutions to promote certain individuals within the Police Department. The resolution will promote two officers to the rank of Lieutenant, and three officers to the rank of Sergeant. Chief Conway will be able to discuss these promotions further in the proposed executive session.

Proposed Action

That the Board of Trustees adopt the Resolutions

Attachments

5 Resolutions

RESOLUTION 4A

PROMOTION TO POLICE SERGEANT WITH THE VILLAGE OF PORT CHESTER

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the

following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York

RESOLVED, that _____ be and hereby is promoted to Sergeant of the Village of Port Chester Police Department.

Approved as to Form:

Anthony M. Cerreto, Village Attorney

RESOLUTION 4B

PROMOTION TO POLICE SERGEANT WITH THE VILLAGE OF PORT CHESTER

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the

following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York

RESOLVED, that _____ be and hereby is promoted to Sergeant of the Village of Port Chester Police Department.

Approved as to Form:

Anthony M. Cerreto, Village Attorney

RESOLUTION 4C

PROMOTION TO POLICE SERGEANT WITH THE VILLAGE OF PORT CHESTER

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the

following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York

RESOLVED, that _____ be and hereby is promoted to Sergeant of the Village of Port Chester Police Department.

Approved as to Form:

Anthony M. Cerreto, Village Attorney

RESOLUTION 4D

PROMOTION TO POLICE LIEUTENANT WITH THE VILLAGE OF PORT CHESTER

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the

following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York

RESOLVED, that _____ be and hereby is promoted to Lieutenant of the Village of Port Chester Police Department.

Approved as to Form:

Anthony M. Cerreto, Village Attorney

RESOLUTION 4E

PROMOTION TO POLICE LIEUTENANT WITH THE VILLAGE OF PORT CHESTER

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the

following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York

RESOLVED, that _____ be and hereby is promoted to Lieutenant of the Village of Port Chester Police Department.

Approved as to Form:

Anthony M. Cerreto, Village Attorney



VILLAGE OF
PORT CHESTER
222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Department: Recreation Department

BOT Meeting Date: 2/16/2016

Item Type: Resolution

Sponsor's Name: Heather Krakowski, Recreation Supervisor

Description	Yes	No	Description	Yes	No
Fiscal Impact	x	<input type="checkbox"/>	Public Hearing Required	<input type="checkbox"/>	<input type="checkbox"/>
Funding Source:			BID #		
Account #:7310.0455			Strategic Plan Priority Area		
	Yes	No	Quality of Life & Village Image		
Agreement	x	<input type="checkbox"/>	Manager Priorities		
Strategic Plan Related	<input type="checkbox"/>	<input type="checkbox"/>	Choose a Manager Priority		

Agenda Heading Title
(Will appear on the Agenda as indicated below)

AUTHORIZING AGREEMENT WITH SOUTH EAST
CONSORTIUM FOR SPECIAL SERVICES, INC. TO PROVIDE A
COLLECTIVE PROGRAM FOR SPECIAL RECREATION
SERVICES FOR CITIZENS WITH DEVELOPMENTAL
DISABILITIES AND SPECIAL NEEDS

Summary

Background: For many years, in cooperation with the City of Rye, Towns of Eastchester, Mamaroneck, Pelham, Village of Scarsdale, Town/Village of Harrison, the Village of Port Chester, Rye Brook and Mamaroneck, the South East Consortium for Special Services, Inc. has been providing a collective program for special recreation services for citizens with developmental disabilities and special needs.

The South East Consortium serves some 22 Port Chester residents. The amount of the annual contract has been flat for the past several years.

AUTHORIZING AGREEMENT WITH SOUTH EAST CONSORTIUM FOR SPECIAL SERVICES, INC. TO PROVIDE A COLLECTIVE PROGRAM FOR CITIZENS WITH DEVELOPMENTAL DISABILITIES AND SPECIAL NEEDS

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the following resolution was adopted as amended by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, the South-East Consortium for Special Services, Inc. provides a special recreation program for citizens with developmental disabilities and special needs through a long-standing agreement with several municipalities in Westchester County; and

WHEREAS, the Village of Port Chester has been a party to this agreement which is up for renewal for calendar year 2016; and

WHEREAS, the program has successfully provided opportunities to our disadvantaged citizens. Now, therefore, be it

RESOLVED, that the Village Manager be authorized to sign an Inter Agency Agreement with the South East Consortium for Special Services, Inc., with the City of Rye, the Towns of Eastchester, Mamaroneck, Pelham, the Village of Scarsdale, the Town-Village of Harrison, the Villages of Port Chester, Rye Brook and Mamaroneck, to provide a collective program for special recreation services for citizens with developmental disabilities and special needs for the calendar year of 2016; and be it further

RESOLVED, that the contribution in the amount of \$21,829.00 has been appropriated in General Fund line item #001-7310-0455.

APPROVED AS TO FORM:

Village Attorney, Anthony Cerreto

The resolution authorizes an extension of the agreement for the 2016 calendar year.
The amount of compensation is the same as last year, and is provided for in the budget.

Proposed Action

That the Board of Trustees adopt the Resolution

Attachments

Agreement

South East Consortium for Special Services, Inc.
Inter-Agency Agreement for 2016

This agreement made on the 1st of January 2016 by and between the South East Consortium for Special Services, Inc., a not-for-profit corporation of the State of New York; Town/Village of Harrison, a municipal corporation of the State of New York; Town of Mamaroneck, a municipal corporation of the State of New York; Town of Pelham, a municipal corporation of the State of New York; Town of Eastchester, a municipal corporation of the State of New York; City of Rye, a municipal corporation of the State of New York; Village of Rye Brook, a municipal corporation of the State of New York; Village of Scarsdale, a municipal corporation of the State of New York; Village of Port Chester, a municipal corporation of the State of New York; and the Village of Mamaroneck, a municipal corporation of the State of New York shall enable said component municipalities the opportunity to provide collective programs of special recreation services and respite opportunities for citizens with various developmental disabilities and special needs through participation in the South East Consortium for Special Services, Inc. as appropriate and available.

Now, therefore, the parties hereto agree as follows:

FIRST: The parties shall jointly operate a special recreation program for citizens with various developmental disabilities and special needs residing or domiciled within the corporate limits of their respective municipalities to the best of its capabilities and available resources.

SECOND: The program shall be funded through each municipality in accordance with schedule of attached hereto and made part hereto establishing respective local shares which shall be in addition to any third party sources of funding. Said local shares shall be paid to South East Consortium at the municipalities' earliest convenience in the current calendar year unless otherwise mutually agreed upon.

THIRD: The substantive program policy shall be the joint responsibility of all the parties, but shall be carried out administratively by the South East Consortium in the same manner as any other programs for which said council would otherwise individually be responsible.

Administrative services include, but not limited to accounting, payroll, legal, personnel, insurance and risk management. In addition, the South East Consortium, on behalf of the program, may apply and receive grants and other third party sources of revenue, and may further enter into agreements on behalf of the program with other governmental agencies and not-for-profit organizations providing partial or full support of any program or activity to be provided hereunder.

FOURTH: The Board of Directors consisting, in part, of a designee from each component municipality shall have policy-making power for the program, and which shall further have the power to adopt rules, regulations, and procedures for the governing of the program affairs in a manner consistent herewith.

FIFTH: The South East Consortium shall procure and maintain liability insurance at its own cost and expense relating to all activities sponsored by and performed by the program, which insurance shall protect the interests of the parties hereto as named insured's. Said insurance limits and amounts will be determined by resolution by the Board of Directors.

SIXTH: The Chief Fiscal Officer of the South East Consortium shall be the Treasurer.

SEVENTH: Programs shall be held throughout the component municipalities, utilizing existing and available municipal/community facilities and resources.

EIGHTH: The South East Consortium shall provide special recreation and respite programs for component municipalities and will accommodate participants from non-component municipalities in accordance with agency guidelines currently enforced.

NINTH: This agreement shall be effective for the calendar year 2016 and upon further agreement of the parties, may be amended and/or extended from year to year thereafter.

TENTH: The South East Consortium shall deliver to each component municipality a current Certificate of Insurance verifying the existence of such insurance and naming said municipality as Additional Insured. The South East Consortium shall hold harmless, indemnify, and defend the Village of Port Chester, its employees, officials and agents from any and all claims, suits and actions arising out of the activities of the special recreation and respite programs provided by the South East Consortium.

The South East Consortium shall provide the Village of Port Chester a copy of the Certificate of Insurance naming the Village of Port Chester as Additional Insured.

IN WITNESS WHEREOF the parties hereto have executed this agreement as of the day and year above written.

SOUTH EAST CONSORTIUM FOR SPECIAL SERVICES, INC.

By: 
Jerry Peters, Executive Director

VILLAGE OF PORT CHESTER

By: _____

Printed Name/Title

Signature



VILLAGE OF
PORT CHESTER
222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Senior Community Center

Village BOT Meeting Date: 2/16/2016

Item Type: Resolution

Description	Yes	No	Description	Yes	No
Fiscal Impact		x	Public Hearing Required		x
Funding Source: no fee			BID #		
Account #:			Strategic Plan Priority Area		
			Enhance Organization		
Agreement	x		Manager Priorities		
Strategic Plan Related			N/A		

Sponsor's Name: Carol Nielsen, Director of Senior Programs & Services

Agenda Heading Title
(Will appear as indicated below on Agenda)

AUTHORIZING APPLICATION FOR RENEWAL OF FOOD SERVICE PERMIT APPLICATION FOR THE SENIOR NUTRITION PROGRAM

Summary

Background:

This resolution authorizes an application for renewal of the food service permit with Westchester County Department of Health for the Senior Nutrition Program.

The permit is required for the operation of the Senior Nutrition Program and is issued on an annual basis.

Proposed Action

That the Board of Trustees adopt the Resolution

Attachments

Permit Renewal Application.

AUTHORIZING APPLICATION FOR RENEWAL OF FOOD SERVICE PERMIT
APPLICATION FOR THE SENIOR NUTRITION PROGRAM

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, the Village of Port Chester provides food services as part of the Senior Nutrition Program; and

WHEREAS, such services require a food service permit from the Westchester County Department of Health; and

WHEREAS, the Village is required to make application for a renewal of the permit which is issued on an annual basis. Now, therefore, be it

RESOLVED, that the Village Manager is hereby authorized to make application with the Westchester Department of Health for a renewal of the food service permit with regard to the Senior Nutrition Program.

Approved as to Form:

Anthony M. Cerreto, Village Attorney



VILLAGE OF
PORT CHESTER
222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Senior Community Center

Village BOT Meeting Date: 2/16/2016

Item Type: Resolution

Description	Yes	No	Description	Yes	No
Fiscal Impact		x	Public Hearing Required		x
Funding Source: no fee			BID #		
Account #:			Strategic Plan Priority Area Enhance Organization		
Agreement	x		Manager Priorities		
Strategic Plan Related			N/A		

Sponsor's Name: Carol Nielsen, Director of Senior Programs & Services

Agenda Heading Title
(Will appear as indicated below on Agenda)

Resolution to authorize the Village Manager to accept a donation of \$500.00 to the PC Senior Center from Schwab Charitable Donations on behalf of Alice & Joseph Antonelli JT Account.

Summary

Background:

Alice & Joseph Antonelli are donating \$500.00 in memory of Jenny Richards. This was also done last year in her memory.

Proposed Action

That the Board of Trustees adopt the Resolution

Attachments: Organization Confirmation from Schwab Charitable and email from Schwab Charitable.

RESOLUTION
AGREEMENTS FOR SENIOR CITIZENS PROGRAMS

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, the Village of Port Chester Nutrition Program for the Elderly requires agreements and contracts; and

WHEREAS, such services have been appropriated in the 2015 to 2016 Village Budget:

RESOVLED, that the Board of Trustees hereby authorizes the Village Manager to enter into the following agreement and contract with regard to the Village of Port Chester Senior Citizens Programs;

Accept donation of \$500.00 to the Port Chester Senior Center from Schwab Charitable Donations on behalf of Alice & Joseph Antonelli JT Account. This is given in memory of Jenny Richards.

APPROVED AS TO FORM:

Village Attorney, Anthony Cerreto

AYES:

NOES:

ABSENT:

DATE:

Nielsen, Carol (Senior Center)

From: Hunt, Alison [Alison.Hunt@Schwab.com]
Sent: Tuesday, February 02, 2016 11:01 AM
To: Nielsen, Carol (Senior Center)
Subject: A Schwab Charitable Donation to Village of Port Chester
Attachments: Village of Port Chester.pdf

Hello Carol Nielsen,

I am pleased to inform you that a Schwab Charitable donor has recommended a grant to Village of Port Chester in the amount of \$500. Before we can process the grant recommendation, the IRS requires that we obtain the information noted below from your organization.

Please fill out the attached form and return it to me at your earliest convenience. Make sure to check the appropriate box in Section 2 as well as to sign and date the form.

This grant was recommended on behalf of the Alice & Joseph Antonelli JT Account.

If you have any questions or concerns, please contact me directly by responding to this email or calling me at (800) 746-6216, ext. 48648. Please reference grant# 1733521.

Sincerely,

Alison Hunt

Grants Specialist | Schwab Charitable
Tel 800.746.6216 ext. 48648 | Fax 877.535.3852
9800 Schwab Way | Lone Tree, CO 80124
www.schwabcharitable.org

NOTICE: All email sent to or from the Charles Schwab corporate email system is subject to archiving, monitoring and/or review by Schwab personnel

Schwab Charitable is the name used for the combined programs and services of Schwab Charitable Fund, an independent nonprofit organization.

Schwab Charitable Fund has entered into service agreements with certain affiliates of The Charles Schwab Corporation. 0615-3966



Organization Confirmation

Questions or Need Assistance?

Call Schwab Charitable at 800-746-6216.

If you have questions about this form please contact: Alison Hunt (800) 746-6216 ext. 48648

If you believe this form will take more than one week to complete and return, please notify us.

01

Organization Information

On 8/19/2014 your organization submitted certain documentation, which may have included your Internal Revenue Service ("IRS") determination letter recognizing that you are exempt from federal income tax under section 501(c)(3) and classified as a public charity under section 509(a)(1),(2) or proof of status as a government entity.

<u>Village of Port Chester</u> Organization Legal Name	<u>13 - 6007322</u> Federal Identification Number (FEIN)
<u></u> Organization doing business as	<u></u> Group Exemption Number (If Applicable)

02

Certification

Please review the information and mark one of the boxes.

- Nothing has changed.** If the above information, certifications and previously submitted documentation provided by the Organization continue to be true, correct, and complete in all material aspects; there have been NO changes to our status, governing documents or operations as an Organization, *check this box.*
- Things have changed.** If the above information and previously submitted documentation are no longer true, correct, and complete in all material respects, and there have been material changes to the Organization's status, activities or operations, *please notify the staff member listed on this form.* There is a Grant Eligibility Application that needs to be completed to appropriately assess the Organization's eligibility for future grant recommendations, *check this box.*

03

Signature

An officer must sign. By signing, the officer is confirming the status of the organization and information on this form.

<u></u> Name	<u></u> Title
<u>X</u> Signature	<u> </u> / <u> </u> / <u> </u> Date
<u>222 Grace Church Street</u> Physical Address (P.O. Box not acceptable)	<u>Port Chester, NY 10573</u> City, State, Zip Code
<u></u> Grant Mailing Address: Primary Delivery Address (if different from above)	<u></u> Mailing City, State, Zip Code
<u>914 - 939 - 4975</u> Primary Telephone Number	<u>914 - 305 - 2523</u> Fax Number

04

Delivery Instructions

Please return this signed form by email, fax or mail.

Email: alison.hunt@schwab.com

Fax: 877-535-3852

Mail: Schwab Charitable P.O. Box 628298, Orlando, FL 32862

Schwab Charitable is the name used for the combined programs and services of Schwab Charitable Fund, an independent nonprofit organization. Schwab Charitable Fund has entered into service agreements with certain affiliates of The Charles Schwab Corporation.



VILLAGE OF
PORT CHESTER
222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Senior Community Center

Village BOT Meeting Date: 2/16/2016

Item Type: Resolution

Description	Yes	No	Description	Yes	No
Fiscal Impact			Public Hearing Required		x
Funding Source: Senior Center Budget Account #: 6720.459			BID # Strategic Plan Priority Area N/A		
Agreement	x		Manager Priorities N/A		
Strategic Plan Related		x			

Sponsor's Name: Carol Nielsen, Director of Senior Programs & Services

Agenda Heading Title
(Will appear as indicated below on Agenda)

AUTHORIZING AN AGREEMENT WITH JUDITH A. CASCIO TO PROVIDE ZUMBA INSTRUCTION FOR SENIOR CITIZENS PROGRAM .

Summary

Background:

Agreements are made yearly with individual instructors for budget purposes. A Zumba class was added in February, 2016 after the previous instructor left. Judith A. Cascio will be paid \$50 per class for each Thursday morning class.

Proposed Action

That the Board of Trustees adopt the Resolution

Attachments

Agreement with Julia Cascio

AUTHORIZING AGREEMENT WITH JUDITH A. CASIO TO PROVIDE ZUMBA
INSTRUCTION FOR SENIOR CITIZENS PROGRAM

On motion of TRUSTEE _____, seconded by TRUSTEE _____

, the following resolution was adopted by the Village of Port Chester, New York:

WHEREAS, the Village of Port Chester has an active Senior Citizen program; and

WHEREAS, the Village requires qualified persons to provide instruction; and

WHEREAS, the Director of the Senior/Community Center has selected persons to serve the Village for 2015-2016; and

WHEREAS, the Village requires a qualified Zumba instructor to complete the program; and

WHEREAS, the expense for same is provided for in the 2015-2016 Village Budget. Now, therefore, be it

RESOLVED, that the Village Manager be and is hereby authorized to enter into an agreement with Judith A. Casio to provide Zumba instruction for the Senior Citizen program, compensation to be \$50/class for each Thursday class. :

Approved as to Form:

Anthony M. Cerreto, Village Attorney



VILLAGE OF
PORT CHESTER
 222 Grace Church Street, Port Chester, New York 10573

RES-10
 BOT 2-16-2016

AGENDA MEMO

Senior Community Center

Village BOT Meeting Date: 2/16/2016

Item Type: Resolution

Description	Yes	No	Description	Yes	No
Fiscal Impact		x	Public Hearing Required		x
Funding Source: no fee			BID #		
Account #:			Strategic Plan Priority Area		
			Enhance Organization		
Agreement	x		Manager Priorities		
Strategic Plan Related			N/A		

Sponsor's Name: Carol Nielsen, Director of Senior Programs & Services

Agenda Heading Title
(Will appear as indicated below on Agenda)

Resolution to authorize the renewal application for the Nutrition Program for the Elderly, Department of Health permit. Permit #01-6620-B

Summary

Background:

The annual renewal of the permit for the Port Chester Nutrition Program for the Elderly, food permit from the Westchester County Department of Health, expiration date March 31, 2016.

Proposed Action

That the Board of Trustees adopt the Resolution

Attachments

Agenda memo, resolution and original permit renewal. Needs signatures from C. Steers, D.Thomas and Carol Plant.

RESOLUTION
AGREEMENTS FOR SENIOR CITIZENS PROGRAMS

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, the Village of Port Chester Nutrition Program for the Elderly requires agreements and contracts; and

WHEREAS, such services have been appropriated in the 2015 to 2016 Village Budget;

RESOVLED, that the Board of Trustees hereby authorizes the Village Manager to enter into the following agreement and contract with regard to the Village of Port Chester Senior Citizens Programs;

Resolution to authorize the renewal application for the Nutrition Program for the Elderly, Department of Health permit. Permit #01-6620-B expiration date: March 31, 2017.

APPROVED AS TO FORM:

Village Attorney, Anthony Cerreto

AYES:

NOES:

ABSENT:

DATE:

Robert P. Astorino
County Executive

Sherlita Amler, M.D.
Commissioner of Health

PERMIT RENEWAL FOR FOOD SERVICE ESTABLISHMENT OWNERS AND OPERATORS

Please be advised that your permit to operate a food service establishment expires soon. According to provisions of Section 873.301 of the Westchester County Sanitary Code, applications must be received not later than 60 days prior to the date of expiration. **In order for you to continue to operate your business, you are required to do the following:**

1. Submit your "Renewal Application for a Permit to Operate"

Answer all questions, and do not leave anything blank. Please include your email contact information. Be sure to date and sign application. Please do not detach or attempt to reassemble the forms for any reason as this will delay processing. Change any information that is incorrect. Note: If the owner's name that appears on the Renewal Application is not yours, or if ownership has changed even if by "name" only, you cannot use this form. Please contact your Regional Office for instructions and an original application.

2. Worker's Compensation/Disability Insurance

SEE PAGE 2 OF THE RENEWAL APPLICATION FOR ACCEPTABLE FORMS. Any questions concerning the forms or procedure should be directed to the local NYS Workers' Comp Board Office or the Bureau of Compliance, NYS Workers' Comp Board at 518-486-6307. If you do not provide Worker's Compensation or Disability Insurance, you are required to submit Form CE-200, which can be done online at www.wcb.ny.gov.

3. Corporate Ownership

If ownership of the business is a corporation, you must file the enclosed "Certificate of Resolution". The person who signs the Renewal Application must be the same person named and authorized in the Certificate of Resolution. The corporate seal must be affixed to the document. If your corporate officers have changed since you last filed your application, submit a list of names and addresses of the new corporate officers.

4. Source of Food Supply Form and Food Managers Certification Course

Answer questions concerning your major food suppliers and the Food Managers Certification Course. The Westchester County Sanitary Code mandates that all operators of food service establishments attend an approved Food Managers Course and re-certify every five (5) years. If you have any questions concerning this requirement, contact your Regional Office.

(over)

Permit to Operate
Renewal Application

Westchester County Department of Health

Business / Location Information (Please modify only if information has changed.)

Business Name NUTRITION PROGRAM FOR THE ELDERLY - Facility Code: 01-6620-B
Address 220 GRACE CHURCH STREET Business Phone (914) 939-4975
PORT CHESTER, NY 10573 Business Fax () -
Location Village of PORT CHESTER Business Website _____
County WESTCHESTER Business Email _____

Mail To
VILLAGE OF PORT CHESTER
220 GRACE CHURCH ST.
PORT CHESTER, NY 10573-

Permit Number **01-6620-B**
Permit Expiration Date
March 31, 2016
Fee Exempt

Permitted
Operation

NUTRITION PROGRAM FOR THE ELDERLY - PORT CHESTER Operation ID: **455556**
SOFA Food Service - SOFA Satellite Site -State Office for the Aging

In Operation: Year-Round Seasonal If Seasonal: Expected Opening Date _____ Expected Closing Date _____
Month/Day Month/Day
Capacity: 90 Seats Days/Hours of Operation: _____

Permit Applicant Information (Please modify only if information has changed.)

Legal Operator or Operating Corporation: VILLAGE OF PORT CHESTER

Person in Charge Christopher Steers Title Village Manager M.I. VILLAGE OF PORT CHESTER Last
Address 220 GRACE CHURCH ST.
City, State, Zip PORT CHESTER NY 10573-
Primary Phone (914) 939-4975 Ext _____ Cell Fax (914) 305-2523 Emergency Contact
Other Phone (914) 939-2200 Ext _____ Cell E-mail carol.nielsen@portchesterny.com

Location Owner: VILLAGE OF PORT CHESTER

Address 220 GRACE CHURCH ST.
City, State, Zip PORT CHESTER NY 10573-
Primary Phone (914) 939-4975 Ext _____ Cell Fax (914) 305-2523 Emergency Contact
Other Phone (914) 939-2200 Ext _____ Cell E-mail carol.nielsen@portchesterny.com

CERTIFICATE OF RESOLUTION
FOR AUTHORIZATION

The Undersigned, _____ of _____
Name of Corporation _____, a corporation
Duly organized and validly existing under the laws of (State) _____
Hereby certifies that the following resolution was duly adopted by the Board of Directors, of said
Corporation, at a meeting duly called and held on the _____ day of _____ 20____.
Be it resolved that the Board of Directors, or President if there is no Board of Directors, of (Name of
Corporation) _____
With offices at: _____
Hereby authorizes (Name if person authorized): _____
To execute and deliver to the Westchester County Department of Health, for and on behalf of said
corporation, and application for a permit to operate a (type of operation):

_____ to execute and deliver any and all additional documents which may be appropriate or desirable in
connection therewith.

The undersigned further certifies that said resolution has not been revoked, rescinded or modified and
remains in full force and effect on the date hereof.

In WITNESS WHEREOF, the undersigned has duly executed this certificate
This _____ day of _____, 20____.

OFFICER'S SIGNATURE: _____

TITLE: _____

ACKNOWLEDGEMENT

Affix Corporate Seal

STATE OF _____)

COUNTY OF _____): ss:

On this _____ day of _____, 20____, before me personally came _____
to me known, and known to me to be the _____ of
_____ the corporation referred to in the within Certificate of
Resolution, who being by duly sworn did depose and say that (s)he is _____
of said corporation and that (s)he signed his/her name thereto.

NOTARY PUBLIC

COUNTY

**WESTCHESTER COUNTY DEPARTMENT OF HEALTH
BUREAU OF PUBLIC HEALTH PROTECTION**

Supplement to be Completed as Part of the Application

SOURCE OF FOOD SUPPLY

ITEM	FIRM	ADDRESS	CITY, STATE
MEAT			
FISH			
DAIRY PRODUCTS			
CANNED PRODUCTS			
BEVERAGES			
OTHER			

FOOD MANAGER'S CERTIFICATION COURSE (PLEASE PRINT CLEARLY)

Have you taken the Food Manager's Certification course Yes No

If yes, name of person who took course: MaryAnn Nielsen

Social Security number of person who took course: ID#

Institution where course was taken: Serv Safe Class - Fair Chester, N.Y. Certificate #12798615

Date of course: 9/21/2015



VILLAGE OF
PORT CHESTER

222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Department: Police Department

BOT Meeting Date: 2/16/2016

Item Type: Resolution

Sponsor's Name: Richard F. Conway, Chief of Police

	Yes	No	Description	Yes	No
Fiscal Impact	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Public Hearing Required	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Funding Source:			BID #		
Account #:			Strategic Plan Priority Area		
	Yes	No	N/A		
Agreement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Manager Priorities		
Strategic Plan Related	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A		

Agenda Heading Title

(Will appear on the Agenda as indicated below)

AUTHORIZING AN INTERMUNICIPAL AGREEMENT WITH THE COUNTY OF
WESTCHESTER WITH REGARD TO PARTICIPATION IN THE STOP DWI PROGRAM
FOR 20152016

Summary

Background:

The Port Chester Police Department participates in the STOP DWI Program with the County of Westchester.

This program is an overtime, added patrol effort with participating municipal police departments to enforce the New York State Vehicle and Traffic Laws against intoxicated and impaired driving.

The County reimburses the Village for personnel expense not to exceed \$12,000.

The Chief of Police recommends that the Village enter into the proposed Intermunicipal Agreement with the County so that the Police Department may continue its participation for 2015-2016.

The Chief will be available to discuss the matter.

Proposed Action

That the Board of Trustees adopt the Resolution

Attachments

Proposed Intermunicipal Agreement

AUTHORIZING AN INTERMUNICIPAL AGREEMENT WITH THE COUNTY OF
WESTCHESTER WITH REGARD TO PARTICIPATION IN THE STOP DWI PROGRAM
FOR 2015-2016

On motion of TRUSTEE _____, seconded by TRUSTEE _____

, the following resolution was adopted by the Board of Trustees of the Village of Port
Chester, New York:

WHEREAS, the Westchester County STOP DWI Program (“Program”) is an overtime, added patrol effort with participating municipal police departments to enforce the New York State Vehicle and Traffic Laws against intoxicated and impaired driving; and

WHEREAS, upon submission of documentation, the County reimburses the participating department for overtime expense not to exceed a prescribed amount; and

WHEREAS, the County has forwarded a proposed Intermunicipal Agreement (IMA) to the Village of Port Chester that would enable the Port Chester Police Department to continue its participation in the Program for the period October 1, 2015 through September 30, 2016, with reimbursement not to exceed \$12,000; and

WHEREAS, the Chief of Police supports the Police Department’s continued participation in the program. Now, therefore, be it

RESOLVED, that the Village Manager be and is hereby authorized to enter into an IMA with the County of Westchester to continue the Port Chester Police Department’s participation in the Stop DWI Program for 2015-2016.

Approved as to Form:

Anthony M. Cerreto, Village Attorney




Village of Port Chester

Office of the Village Manager

MEMORANDUM

TO: Mayor and the Board of Trustees



FROM: Christopher D. Steers, Village Manager

DATE: February 16th, 2016

RE: Updates

INITIATIVES/PRIORITIES:

- **Strategic Planning: Strategic Actions** (*Opportunity Areas #1 Downtown TOD, #2 Downtown: Municipal Center, #3 Waterfront Redevelopment/Revitalization, #4 Fox Island, #5 United Hospital Site Redevelopment*). We continue to move forward with various strategic planning initiatives (see *Planning and Economic Development activities report* for more detail).

1) Opportunity Area #1:

- **Retail D** (Background & Status): Applicant, G&S Port Chester LLC, has submitted a formal zoning petition pursuant to §345-34 to the Board of Trustees regarding former “Coney’s lot” (aka “Retail D”/“Unit 2B”).

The Applicant’s amended zoning petition reduces the total square footage of allowed development to approximately 72,000 square feet (from 90,000 sqft) to include approximately seventy-nine (79) rental dwelling units comprised primarily of studios and one-bedroom units and includes a density bonus provision: specifically, the Applicant requests the following bulk and density regulations applied:

- Maximum building height: 5 stories/70 feet
- Maximum Floor Area Ratio: 3.7;
- Minimum Lot Area per Dwelling Unit: 240 sq. ft.
- Front/Side/Rear Setbacks: None.
- Usable Open Space per Unit: None.

Next Steps:

- The joint public hearing was opened on January 19, 2016 and closed on February 1, 2016. Waterfront and traffic issues needed to be resolved. Waterfront, SEQRA, and zoning to be discussed at February 16, 2016 BOT meeting.

2) Opportunity Area #2: The agreement with National Development Council (NDC) for the municipal center project was terminated by the BOT at the last meeting. The agreement with McClaren, Wilson, & Lawrie Architects and Planners has been executed and the results are expected within the next few weeks.

3) Opportunity Area #3:

Bulkhead: DOS-LWRP FY2013-2014: awarded \$225,420 for design and construction plans + permits. BOT authorized budget amendment for dedicated fund for grant. The required Steering Committee has been established. Boswell Engineering is now in the data gathering phase including diving and inspections.

- Bulkhead Design Review Committee: The first meeting was held on January 20th at 6:30 PM in the Village Hall conference room. The Agenda, presentation, and representative work are attached.
- Local Waterfront Revitalization Program (LWRP)

The Director of Planning and Economic Development participated on a call with NYSDOS to discuss the status of the Bulkhead and LWRP projects. The call was informational and no action items are necessary. NYSDOS indicated that their staff is currently reviewing the last submission; once they are satisfied, a draft of the LWRP will be made available for public comment – for 60 days. After that 60-day period, depending on the feedback received, the Village would be able to adopt the LWRP locally; the State and Federal adoption of the LWRP would take longer, but would not impact our ability to utilize it to evaluate projects.

4) Opportunity Area #5: Redevelopment of the former United Hospital Site (Starwood). The Mixed-use redevelopment proposal for the former United Hospital site located within the Village's PMU Planned Mixed Use District to permit: 500 "Millennial" housing units, 240 age-restricted housing units, an approx. 138-key limited service hotel, 100,000-200,000 square feet of medical office, approx. 90,000 square feet of retail, ample public and green space, and improved access to Abendroth Park. The applicant currently preparing draft Final Environmental Impact Statement.

- **AKRF:** reviewed the DEIS pursuant to SEQRA and delivered comments and recommendations regarding the substantive content of the DEIS. Staff has been meeting

with AKRF and the applicant routinely (weekly) to keep forward progress. AKRF has completed its preliminary economic analysis and will present preliminary findings to the BOT at this meeting.

- The applicant has prepared draft sections of the Final Environmental Impact Statement. AKRF, SPR, Adler, and Dolph have been providing comments on those sections. Most of those comments have been sent to the Applicant for their review; a few sections are still under review by AKRF, SPR, Adler, Dolph and staff, including traffic, storm water, utilities, and alternatives. In addition, AKRF has provided comments on the proposed zoning text and AKRF, staff, and representatives from Starwood will be meeting the week of 2/15 to discuss. AKRF is also continuing its economic analysis and anticipates presenting at a later BOT meeting. Staff has been meeting with AKRF and discussing the project with AKRF and SPR on a routine (weekly) basis to keep forward progress.

ACTIONS:

➤ 201 Grace church Street:

- The Contract to demolish 201 Grace Church Street has been executed. Permits are being pulled for the asbestos remediation with the County. The Contractor has indicated remediation should be complete by the 26th.
- Fire and Police have been made aware of this timeline in order to schedule their training use of the property.
- Demolition will begin in Mid-March and should be complete by the end of March.
- Steps will be taken prior to March to inform neighbors of plans to practice forced entry and fire drills on the Property. All precautions will be taken to protect surrounding properties as recommended by the Building Inspector.

➤ Traffic Signal Replacement at Glen and North Regent:

The quotes were received and the contract was awarded to Verde Electric, not to exceed \$171,575. Our inspectors and Verde personnel met with ConEd staff regarding power source for the new signal. A modification will be made to get power from the overhead wiring down a pole to the required place. This will save about \$ 4,000 to \$4500. Layout work has been reviewed and is good to go. The pole and mast arm has been ordered. This is usually a long lead item usually 6 weeks but Verde was able to get it in about 6 weeks. Stake out of property line at the mast arm location has been scheduled. Excavation work will start Tuesday the 16th. Shop drawings that have been submitted are approved.

- **2016-2017 Budget Process:** Budget development for the coming fiscal year has been initiated. Department budget worksheets have been distributed. Meetings with department heads will begin early next month. The update on the mid -year projections is scheduled for February 23rd.
- **Grant Writing:**
 - All the grant efforts of staff and our consultant is a beginning to pay dividends. The village received almost \$1M dollars in CDBG funding. The State allocated us the below:
 - \$106,745 to replace kitchen appliances and the bus that services the village's Senior Community Center, which are at the end of their useful life. New appliances, equipment and bus services will allow the village to continue providing meals and transportation to approximately 1,300 seniors and individuals with low to moderate incomes.
 - \$750,000 to inspect and repair deteriorated sewer mains throughout the village with Cured-In-Place piping. This project is Phase III of a multi-phase sewer rehabilitation program in the Village and will benefit 37,105 residents in the villages of Port Chester and Rye Brook, 54 percent of whom are individuals with low to moderate.
 - Staff is working with the Village Attorney to provide the requisite paperwork to OHCR to begin the project. Staff will attend an upcoming workshop.
 - Again, the Village has applied for nearly 1.25 million in dollars since the implementation of our agreement with our grant writing consultants Millennium Consulting LLC.
- **Hazard Mitigation Planning (County-wide Plan):** This relates to our participation in Westchester County's preparation of a county-wide hazard mitigation plan (preparedness for and response to hurricanes, blizzards, flooding, etc.) Our participation ensures eligibility for emergency management funding.
 - Final draft report distributed to municipalities April 2015. Staff presented report at the May 18, 2015 meeting. Draft report reviewed and approved by FEMA and Westchester County. BOT must adopt inclusion into County-wide plan early 2016 to ensure federal funding opportunities for hazard mitigation and/or disaster recovery.
- **Local Waterfront Revitalization Program (LWRP):** this relates to the update to the adopted 1992 Village waterfront policy and vision plan including needed updated guidelines for Waterfront Commission project consistency review. DOS Staff and its legal department have worked with staff to develop the policies, based on BOT direction, which will pass muster with state-wide policies. This was the biggest hurdle we have faced. Staff resubmitted the document

in Nov 2015. DOS responded that once they had a chance to look at it, they would be back in touch with us. (**Pending**)

- **Parking Meter Update:** A report and presentation on our parking meter system is on for this meeting.
 - Staff has undertaken a review of signage around the Parking System and have identified a need for 297 additional signs to reach the ideal pay station marking set up as demonstrated in the presentation given last meeting.
 - An order for an additional 217 signs along with 20 additional directional signs to point visitors to parking lots were ordered in early February. The remaining 60 signs needed were here in stock. The total cost is \$7,700. Delivery is expected by the 26th.
 - Parking Meters have begun to be transitioned from Midland Avenue to areas around the main street parking center. It is expected that all four meters will be moved prior to the end of February.
 - The initial step to Pay by Phone is a system wide upgrade to the New IRIS Software. A conference call is scheduled for a kickoff to the the installation and the transition will occur in early March.

- **Clay Arts Center:** Staff and I met with Leigh Mickelson to discuss the upcoming co-sponsored program at the Senior Center on April 16th. The program will now begin at 1:30 with set up beginning at 12:30 in order to better accommodate the seniors.

DEPARTMENT UPDATES:

- **Treasurer's Office:**
Budget kick off meeting held. Budget Work Sheets received. Rolling Stock received. Department Head budget meetings underway. Budget calendar attached.
- **Village Attorney: See attached report.**
- **Voter Education Coordinator: See attached report.**
- **Justice Court: See attached report.**
- **Parks and Recreation: See attached Report.**
- **Planning and Economic Development: See Planning and Development Assistant Director's report attached.**
- **Police Department: See Police Chief's report attached.**

- **Senior Center / Nutrition: See report attached**
- **Staffing (for information only): Note: Civil Service rules and regulations add an excessive amount of time and energy to the hiring process.**
 - Senior Account Clerk (finance): this position has been filled.
 - The Village Engineer's position: Selection has been made. Approved by the County. Appointment pending Finger printing and back ground check.
 - The Building Inspector candidate is on for discussion and appointment this meeting.
 - Police Promotions: currently two Police Sergeant promotions and two Police Lieutenant promotions are being evaluated. Staff is recommending promoting three sergeants due to a pending disability retirement. Interviews have been completed and recommendations will be given during executive session at this meeting with appointment resolutions to follow.

Attachments

CC: Senior / Executive Staff
Maryanne Veltri, Office Assistant File

VILLAGE OF PORT CHESTER
FY 2016-17 BUDGET CALENDAR

JAN 7	BUDGET STAFF MEETING – CONFERENCE ROOM @ 3:00 P.M. (Budget process begins with the distribution of forms and instructions To Department Heads)
JAN 28	BUDGET WORKSHEETS DUE FROM DEPARTMENTS
JAN 28 – FEB 5	BUDGET INPUT BY TREASURER’S DEPT.
FEB 8 - FEB 12	MEETING WITH DEPTS BY VILLAGE MANAGER/TREASURER (Departmental review conferences as scheduled by the Manager’s office)
FEB 15 – MAR 11	DEVELOPING TENTATIVE BUDGET (Village Manager/Treasurer)
FEB 23	WORKSHOP ON 6 MONTH NUMBERS
MAR 18	MANAGER FILES TENTATIVE BUDGET WITH CLERK (SEC 5-504) (On or before the 20th day of March)
MAR 21	VILLAGE CLERK FILES TENTATIVE BUDGET WITH BOT (SEC 5-508(1)) (On or before the 31 st day of March at a regular or special Board of Trustees Meeting)
MAR 21	BOT SETS PUBLIC HEARING FOR APRIL 4 th (On or before the 15 th day of April> Note If tax cap is to be overridden a local law and requisite hearing is necessary)
APRIL 4	BUDGET PRESENTATION AND PUBLIC HEARING (On or before the 15 th day of April)
APRIL 5 – APRIL 15	BUDGET WORK SESSION WITH THE BOARD OF TRUSTEES (Board begins deliberations as scheduled by the Village Clerk)
APRIL 18	PUBLIC HEARING ADJOURNED (Must be adjourned by April 20)
APRIL 19-29	PROPOSED ADOPTION OF BUDGET (SEC 5-508(4))
APRIL 30 – MAY 31	ASSEMBLED & PRINT ADOPTED BUDGET (Summary of Adopted Budget published in newspaper & copies of budget ordinances submitted to NYS Comptroller. Tax warrant file with the Town of Rye.)



Repair of Collapsed Bulkhead Section along Byram River & Repair of Cove Area Project Kick-Off Meeting

Village of Port Chester, N.Y.

January 20, 2016



BOSWELL ENGINEERING

Agenda

- I. Roles and Responsibilities
- II. Project Scope
 - a. Collapsed Bulkhead Section along Byram River and Activity Node
 - b. Repairs to Cove Area
- III. Schedule of Tasks
- IV. Milestones Review
- V. Open Forum Items



Roles and Responsibilities



Principal

Stephen T. Boswell, PhD, P.E., P.P., SECB, LSRP

Project Manager

John R. Valentin, P.E.

Quality Assurance/Quality Control

Peter Ten Kate, P.E.

Survey Task Leader

Michael P. Wheeler,
P.L.S.

Geotechnical Task Leader*

Richard Obisanya, PhD, P.E.

Public Outreach & Landscape Design Task Leader

Rebecca E. Mejia, P.E.

Diving Task Leader

Michael J. Ganas, P.E.

Construction Management Task Leader

Bruce D. Boswell, P.E.

Cultural Resources Task Leader**

Cece Saunders

Project Engineer

Ljupcho T. Naumchevski, P.E.

Permitting Task Leader

Frank J. Rossi, LSRP

Subconsultants:

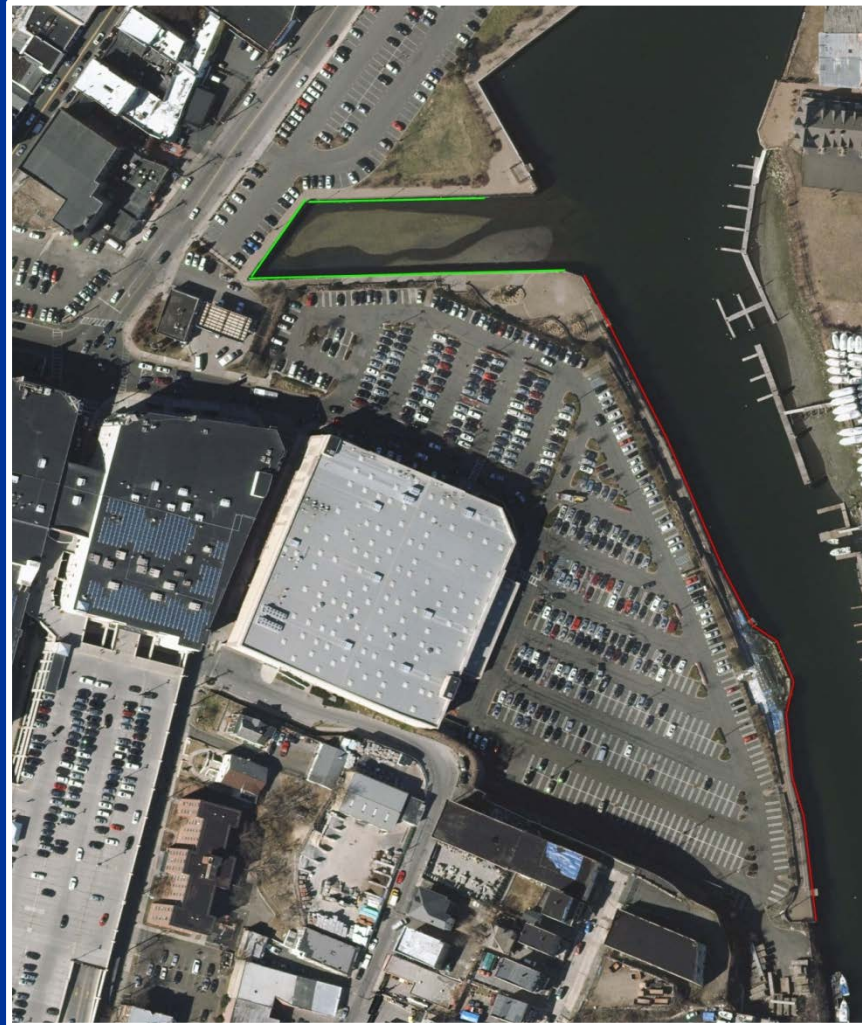
*Yoel & Joseph Engineering Consultants (MBE)

**Historical Perspectives, Inc. (WBE)



BOSWELL ENGINEERING

Project Scope

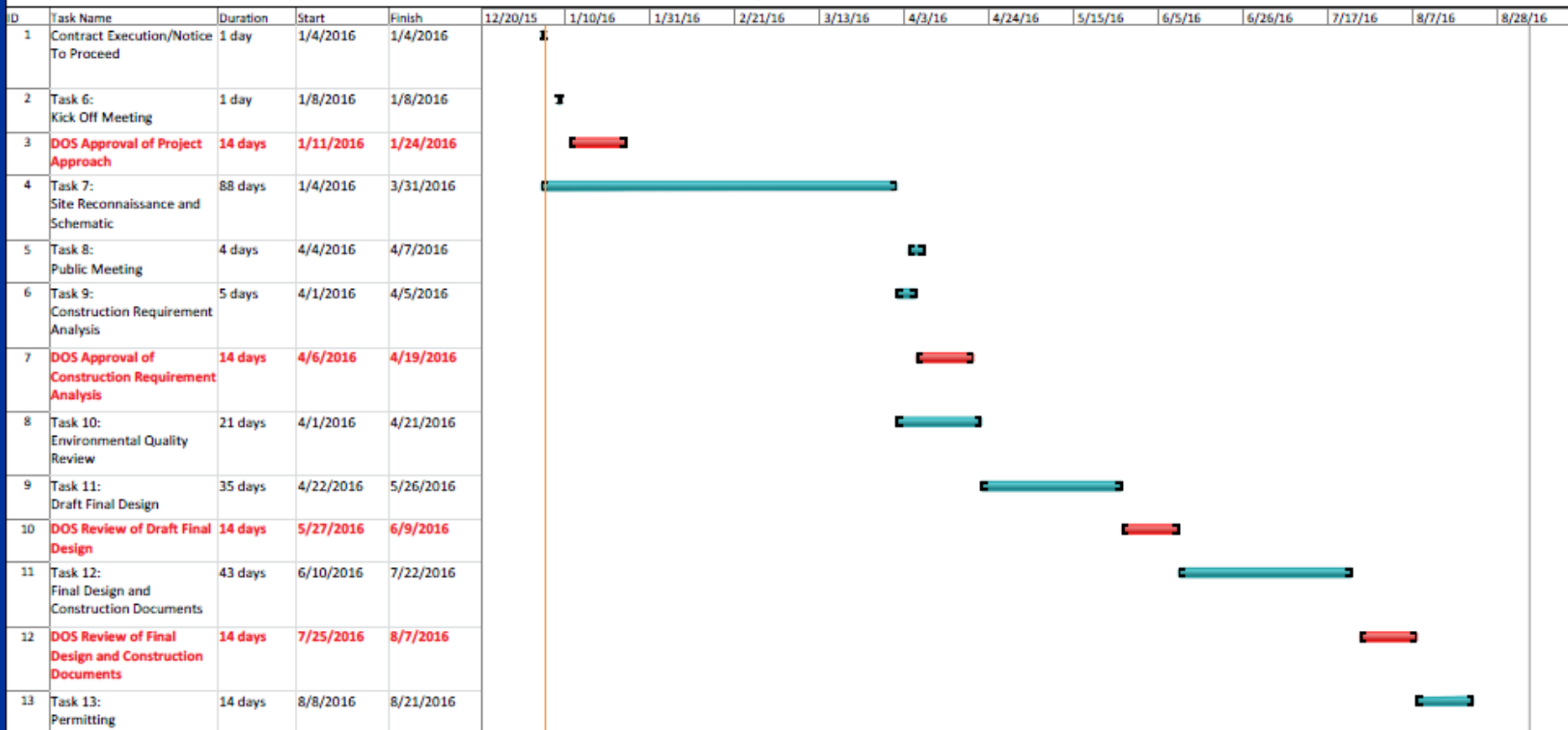


Project Scope



Schedule of Tasks

Full Design and Construction Plans for the Repair of Collapsed Bulkhead Section Along Byram River
Village of Port Chester
Anticipated Schedule



Tasks

- Task 6: Kick Off Meeting
- Task 7: Site Reconnaissance and Schematic Design
 - Topographic and Hydrographic Survey
 - Phase IA Assessment
 - Geotechnical Investigations
 - Alternative Design Schematics (3)
- Task 8: Public Meeting
- Task 9: Construction Requirement Analysis
- Task 10: Environmental Quality Review
- Task 11: Draft Final Design
- Task 12: Final Design and Construction Documents
- Task 13: Permitting



Milestones Review

- Project Approach
- Construction Requirement Analysis
- Draft Final Design
- Final Design and Construction Documents



Open Forum Items



BOSWELL ENGINEERING



**Repair of Collapsed Bulkhead Section along Byram River &
Repair of Cove Area
Project Kick-Off Meeting
Village of Port Chester
Westchester County**

**Meeting Minutes
January 20, 2016
6:00 P.M. – 7:00 PM**

Attendees:

Dennis Pilla	Village of Port Chester - Mayor
Emily Imbesi	Village of Port Chester – Beautification Commission
Michael Scarola	Village of Port Chester – Planning Commission
Tav Passarelli	Village of Port Chester – Waterfront Commission
Robert Reis	Village of Port Chester – Waterfront Commission
Herberth Diaz	Village of Port Chester – Waterfront Commission
Gerry Espinoza	Village of Port Chester – Zoning Board
Chris Ameigh	Village of Port Chester – Administrative Aide to Village Manager
Tony Cerreto	Village of Port Chester – Village Attorney
John Valentin	Boswell Engineering
Rebecca Mejia	Boswell Engineering

A kick-off meeting was held at the above referenced date and time in the Village of Port Chester to discuss the Repair of the Collapsed Bulkhead Section along the Byram River & the Repair of the Cove Area project. A presentation was given (see attached), and the following items were discussed:

I. Roles and Responsibilities

- John Valentin reviewed the Organizational Chart and discussed the various task leaders.

II. Project Scope

- a. Collapsed Bulkhead Section along Byram River and Activity Node**
- b. Repairs to Cove Area**

- John Valentin reviewed the scope of work for both areas.





III. Schedule of Tasks

- John Valentin reviewed the proposed schedule.
- Tony Cerreto noted that a Benefit Assessment District can be established once site reconnaissance work is completed (but after public meetings).

IV. Milestones Review

- John Valentin detailed the various milestones clarifying that the schedule assumes a DOS review period of 2 weeks for each of the 4 milestone submissions (which could potentially take longer).

V. Open Forum Items

- Mayor Pilla clarified that the intent of the Project Advisory Committee (PAC) was to provide oversight for the engineering work done by Boswell and vet design options before public input.
- Concepts discussed included raised walkway and pedestrian bridge.
- Mayor Pilla detailed his selection criteria for design options as follows:
 - o Cost
 - o Economic Development Impacts
 - o Life-Cycle Analysis
 - o Waterfront Activation
 - o Active and Passive Recreation Opportunities
- Tony Cerreto noted the importance of accessibility meeting the Americans with Disabilities Act (ADA).
- Various concepts for the activity node were discussed (including educational signage).
- Tav Passarelli suggested a deck across the entrance cove in an attempt to create usable space
- PAC members discussed doing a walk-thru of the project site as weather and schedules permitted.
- A follow-up meeting with the PAC was discussed for late March once the reconnaissance work was completed and before concept plans were reviewed at the public meeting.
- The meeting adjourned at 7:00 PM.

If any of these minutes are in error please notify me within five (5) business days.

Date Minutes Prepared: January 29, 2016
Minutes Prepared by: Rebecca Mejia, P.E.



Representative Work

Port Authority of New York and New Jersey – Materials Engineering Division



- Feasibility Studies
- Alternative Rehabilitation Designs
- Cost Estimating for Facility Repairs
- Structural Inventory and Appraisal
- Marine Borer Intrusion Surveys



BOSWELL ENGINEERING

Representative Work

Port Authority of New York and New Jersey – Quality Assurance Division



- Condition Surveys of Bulkheads
- Remediation Designs and Cost Estimates
- Identification of Structural and Non-Structural Deficiencies Presenting Safety Hazards



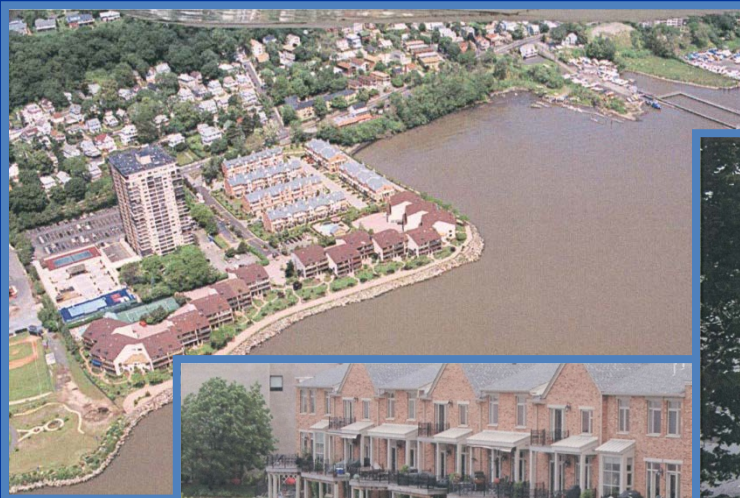
Representative Work

NYC Department of Citywide Administrative Services – River Café, Brooklyn



Representative Work

**Shelter Bay, Hudson Cove, and The Moorings –
Environmental Permitting and Design, Edgewater, N.J.**



BOSWELL ENGINEERING

Representative Work



Port Liberté Bulkhead Restoration – Jersey City, N.J.



BOSWELL ENGINEERING

Representative Work



Port Liberté Bulkhead Restoration – Jersey City, N.J.



BOSWELL ENGINEERING

Representative Work



**Port Liberté Bulkhead Restoration –
Jersey City, N.J.**



BOSWELL ENGINEERING

Representative Work



Port Liberté Bulkhead Restoration – Jersey City, N.J.



BOSWELL ENGINEERING

Representative Work



Port Liberté Bulkhead Restoration – Jersey City, N.J.



BOSWELL ENGINEERING

Representative Work

Former River Oil Terminal Bulkhead Reconstruction – Passaic, N.J.



Representative Work



City of Hoboken – Castle Point Reconstruction



Representative Work



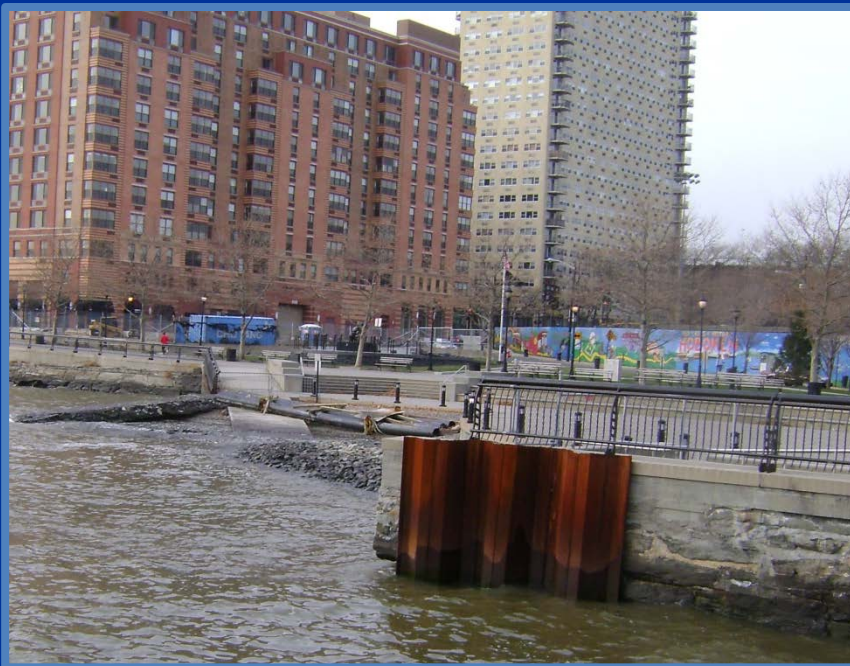
City of Hoboken – Castle Point Reconstruction



Representative Work



City of Hoboken – Sinatra Park Reconstruction



Representative Work



City of Hoboken – Sinatra Park Reconstruction



Representative Work



City of Hoboken – Sinatra Park Reconstruction



BOSWELL ENGINEERING



Village of Port Chester

Office of the Village Attorney

MEMORANDUM

TO: Christopher D. Steers, Village Manager

FROM: Anthony M. Cerreto

DATE: February 12, 2016

RE: Monthly Report
January 15, 2016 to February 12, 2016

Board of Trustees

Attended all regular meeting of the Board of Trustees. Drafted and approved agenda memos and resolutions.

Research issue of potential intervention in mortgage foreclosure proceedings to secure code compliance. Research issue of tattoo parlors. Consultations with special counsel charged with investigation of certain correspondence between the Mayor and Village Manager.

Meeting with Board subcommittee on G & S matters with regard to proposed paid parking at Marina Parking Lot.

Litigation

Case review with NYMIR assigned counsel. Consultations with outside counsel and municipal attorneys with regard to Save the Sound litigation. Review of answering papers and drafted reply papers in court proceeding to demolish structure at 167 Irving Avenue. Consultations and review of reply papers prepared by special counsel in court proceeding challenging proposed group home on Betsy Brown Road.

Weekly meetings with U.S. Department of Justice and Intervenor. David Kenny assigned to provide assistance to Village Clerk as to Consent Decree compliance.

Contracts

Interviews for Request for Proposals (RFP) for title search work on certain waterfront focus areas on Fox Island. Preparation of RFP for title search work for other waterfront locations in the Village to be released.

Prepared agreements with regard to Verde Electric (Regent and Glen Traffic Light) and En-Tech (television of sanitary sewers). Reviewed proposed agreement with Virtual Town and Schools

(Website update). Prepared notice of termination of agreement to National Development Council. Conference call with Verizon regarding extension of agreement for cell-site on Fox Island Road.

Planning and Zoning

Attended meetings of the Planning Commission and Zoning Board of Appeals. Prepared proposed findings of facts for ZBA. Prepared memo with regard to recent amendments to federal law with regard to wireless telecommunication facilities. Attended staff planning meetings and telephone conference calls with AKRF, planning staff and special counsel regarding the Starwood development project. Meetings with Planning and Building Department staff and applicants regarding new and pending planning and zoning applications and petitions for zoning amendments.

Other Boards and Commissions

Attended meeting with Board of Ethics. Secured NYCOM sponsorship and expert panelists for Annual Ethics Forum sponsored by BOE to be held on April 7, 2016.

Other

Preparation for and attendance on conference call with Moody's for bond rating. Drafted report to Village's financial advisor for Official Statement with regard to bond issue.

Prepared response to Freedom of Information Law (FOIL) appeal and response to subpoena duces tecum for police records.

Discussions with Stamford, Connecticut prosecutor with regard to pending case involving a volunteer firefighter.

Attended classes and made group presentation as Fellow with Hudson Valley Patterns for Progress focusing on downtown revitalization.

Voter Education Plan: Monthly Coordinator Report #5

Reporting Period: January 1- 31, 2016

Narrative by Voter Education Coordinator Belia Gomez-Tagle

The following represents the tasks that I have undertaken in order to meet the requirements set by the Department of Justice Decree. As the Coordinator of the Voter Education program:

1. Held the second mandated Candidate's Qualifying Forum on January 7th, at Don Bosco Community Center and the second and third mandated educational forums on January 16th at Assembly of God World Vision Church on King St. and on January 20th the forum was held at Carver Center.
2. Spoke in front the Board of Trustees meeting about the tasks I have undertaken during the month of December 2015.
3. Continue to oversee and translate documents needed, e.g. Voter presentation materials for the forums and candidate qualifying forum, the letter for parents and flyers including the website and its links.
4. Partnered with the Teen Center located at the Carver Center and using their Studio we produced the Radio Spots and video clip with several volunteers.
5. Printed and delivered brochures and flyers to schools, not-for-profits agencies, community centers, churches notifying them about the upcoming educational forums.
Port Chester- Rye Brook Public Library
Open Door
Family Services of Westchester
Village Hall of Port Chester
Don Bosco Community Center
Senior Center Port Chester
Caqrver Center
Human Development Services
Edison Scholl programs
Latinos en Accion
And all the board meetings that I attended

6. Posted flyers on the windows of:

Mr. Bokay Weddings Floral event decorators shop
J.J. Cassone Bakery, Inc
State Farm Dalila D. Namy, Agent
150 S Regent St, Port Chester, 10573
Park Deli
Funeral Home Joseph Tutera
La Colmenita Store
Laundromats
So Regent St Laundromat
Park Laundromat
Wash n' Go Laundromat
Pizza N Pasta S Regent St
Four Guys Deli
Brady n Golberg Law Office
Shoe Repair
Tarry Market
Kneaded Bread Inc
Spring Phone Co
El Festejo Restaurant
El Tesoro Restaurant
Asi es Colombia
La oficina Latina
Via Brasil Market
El tio
La popusa Loca
Inca Gaucho
Aquí es Santa Fe
Los Gemelos
Texas Chili
International Café
Salsa picante
La placita Super Market
Pollo a la Brasa
Nico's Deli
Rinconsito Ecuatoriano
El palacio de los mariscos
Rincon Paisa
Mary Anns
Tropical International Calls
Acuario Restaurant
Las Brisas
Paradise weddings
La Marqueta Meat n Produce
Westchester Market
Panda Restaurant
Las Brisas
Photo Central Studio
Master Cuts

Café Mirage
SPA Facials
IRV's Mini Market
Love impact Beauty Salon
Kiosko restaurant bar
Cammartto Pharmacy
Cascada Loundromat
Shop Smart
Hollywood Chicken Int.
Etc. All hear salons on Main St and Westchester Ave.

7. Translated newsletter for school mailing, ballot instructions, and prepared media public notice announcing upcoming forums.
8. Spoke to several people in the School District to have our flyers sent to school children's parents.
9. Met with different community stakeholders to talk about strategies on how to get the vote out.
10. Continue distributing flyers and brochures to public places and groups at their meeting places.
11. Continue posting flyers and brochures with electoral information on business windows.
12. Visited scheduled sites for forum locations with the Village Clerk to avoid potential problems with public access, machine function and appropriate space for attendees.
13. Continue distributing flyers to all soccer league, basketball league, karate, fitness and swimming programs, computer classes, after school programs, prayer groups etc.,
14. Attended PTA, PTO and different board meetings to update community stakeholders and community in general about upcoming forums and to distribute flyers and brochures with early voting and cumulative voting system.

Coming up

*Continue with Community Outreach

*Continue overseeing and translating documents and website including its links

*Upcoming forums: Please help me to pass the word out

February 9th, Tues @ 6:30pm · English and Spanish Educational Forum · John F. Kennedy Magnet School, 40 Olivia Street, Port Chester, NY 10573

February 25th, Thursday @ 6:00pm · English and Spanish Educational Forum · King Street Elementary School, 697 King Street, Port Chester, NY 10573

March 5th, Sat @ 4:30pm · English and Spanish Educational Forum · Corpus Christi Community Center, 136 S. Regent Street, Port Chester, NY 10573

March 8th, Tues @ 6:30pm · English and Spanish Educational Forum · Thomas A. Edison Elementary School, 113 Rectory Street, Port Chester, NY 10573

TBD English and Spanish Educational Forum · King Street Elementary School, 697 King Street, Port Chester, NY 10573

Belia Gomez-Tagle

Voter Education Coordinator

December 28, 2015

Monday

12:00 PM - 3:00 PM

Carver Center Family Services -- Carver Center
MIDA Alex Chavarria 12- 2 pm
Food Pantry 1-3pm

December 29, 2015

Tuesday

5:30 PM - 10:00 PM

Candidate Qualifying Forum -- 222 Grace Church St, Port Chester, NY 10573

December 30, 2015

Wednesday

6:30 PM - 8:00 PM

BOCES ESL Computer Classes -- Carver Center

January 01, 2016

Friday

All Day

New Years

January 02, 2016

Saturday

10:00 AM - 10:30 AM

5 Steps to 5 -- Carver

10:30 AM - 11:30 AM

Immigration Clinic -- Carver Center

12:00 PM - 5:30 PM

Karate, Dance, Tuturing, soccer, swimm and computer programs -- Carver Center
Distribution of flyers with forums dates and brochure with early voting and cumulative voting system explanation.

January 04, 2016

Monday

12:00 PM - 3:00 PM

Carver Center Family Services -- Carver Center
MIDA Alex Chavarria 12- 2 pm
Food Pantry 1-3pm

January 05, 2016

Tuesday

8:00 AM - 8:30 AM

Posted flyers -- Corpus Christi Area
Mr. Bokay Weddings Floral event decorators shop
J.J. Cassone Bakery, Inc
State Farm Dalila D. Namy, Agent
150 S Regent St, Port Chester, 10573

January 05, 2016 Continued

Tuesday

Park Deli
Funeral Home Joseph Tutera
La Colmenita Store
Laundromats
So Regent St Laundromat
Park Laundromat
Wash n' Go Laundromat
Pizza N Pasta S Regent St

7:00 PM - 8:00 PM

NAACP Board meeting

8:00 PM - 8:30 PM

Computer Classes -- Carver Center

January 06, 2016

Wednesday

9:00 AM - 10:00 AM

Community Services Council board meeting

6:30 PM - 8:00 PM

BOCES ESL Computer Classes -- Carver Center

January 07, 2016

Thursday

9:00 AM - 10:30 AM

Sustainable Port Chester -- 345 Westchester Ave. Port Chester 10573

6:30 PM - 8:30 PM

Candidate Forum

January 08, 2016

Friday

8:40 AM - 9:40 AM

Second Cup of Coffee

9:30 AM - 11:00 AM

Parenting Leadership Edison -- Carver Center
Bring flyers and brochures

8:00 PM - 8:30 PM

Dance Group -- Don Bosco Community Center

8:30 PM - 10:30 PM

Nueva Vida Preyer group -- Don Bosco Community Center

January 09, 2016

Saturday

10:00 AM - 10:30 AM	5 Steps to 5 -- Carver
10:30 AM - 11:30 AM	Immigration Clinic -- Carver Center
12:00 PM - 5:30 PM	Karate, Dance, Tutoring, soccer, swim and computer programs -- Carver Center Distribution of flyers with forums dates and brochure with early voting and cumulative voting system explanation.
4:00 PM - 7:00 PM	Comunidad Migrante -- 400 Carver Center

January 10, 2016

Sunday

10:30 AM - 12:30 PM	Foro Migratorio Conozca sus derechos -- Club Polaco 250 Locust Ave, Port Chester, NY 10573
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January 11, 2016

Monday

12:00 PM - 3:00 PM	Carver Center Family Services -- Carver Center MIDA Alex Chavarria 12- 2 pm Food Pantry 1-3pm
7:00 PM - 8:30 PM	PTO Meeting -- MS, Edison, Park Ave, King St

January 12, 2016

Tuesday

7:00 PM - 9:00 PM	Meeting King
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January 13, 2016

Wednesday

All Day	11:30 Dismissal for Students
9:00 AM - 9:30 AM	Community Services council board meeting -- 28 Adeo St
4:30 PM - 5:30 PM	LWVRRB Board Meeting
6:30 PM - 8:00 PM	BOCES ESL Computer Classes -- Carver Center

January 14, 2016

Thursday

11:00 AM - 4:00 PM

Flyers distribution Corpus Christi Area -- Cazone bakery, Park Deli, Pizza D'Onofrio's, 2 Laundromats, Funeral Home Tutera, La Colmenita Store. William Deli, Laundromats

January 15, 2016

Friday

8:40 AM - 9:40 AM

Second Cup of Coffee

10:30 AM - 12:00 PM

Leadership FSW Latinos en Accion -- Carver Center
Bring flyers and brochures

8:00 PM - 11:00 PM

Nueva Vida -- Don Bosco Center
Distribution of flyers and brochures.
Talk in front of the group about the program:
Talking points (approved already)

January 16, 2016

Saturday

12:00 PM - 3:00 PM

Voter Education Forum

January 18, 2016

Monday

All Day

Martin Luther King Day - Schools Closed

January 20, 2016

Wednesday

6:00 PM - 9:00 PM

Voter Education Forum -- Carver Center 400 Westchester Ave

January 22, 2016

Friday

All Day

Snow day all programs were cancelled

January 23, 2016

Saturday

All Day

Snow Day all programs cancelled

January 24, 2016

Sunday

6:00 PM - 6:30 PM

MLK Interfaith Celebration

January 25, 2016

Monday

12:00 PM - 3:00 PM

Carver Center Family Services -- Carver Center
MIDA Alex Chavarria 12- 2 pm
Food Pantry 1-3pm

January 26, 2016

Tuesday

8:00 AM - 8:30 AM

Post flyers on Main St

9:15 AM - 10:15 AM

JFK Principal Judy Diaz -- 40 Olivia, Port Chester 10573

January 27, 2016

Wednesday

7:00 PM - 8:00 PM

HVCCC Board Meeting -- Carver Center
Bring brochures in English and in Spanish, map with voting places and calendars also in both languages to invite them for the next forum on February 9th at John F Kennedy School on 40 Olivia St, Port Chester 10573.

January 28, 2016

Thursday

9:15 AM - 10:15 AM

JFK School Meeting -- 40 Olivia St
Have ready Flyer to be sent in the students' back pack . Secure the Auditorium. Ask to have our information in their web page. Leave flyers with dates of the upcoming forums.

4:30 PM - 5:00 PM

La Flor de Jalisco

January 29, 2016

Friday

8:40 AM - 9:40 AM

Second Cup of Coffee

9:30 AM - 10:30 AM

EDISON Parenting Leadership program -- Edison School

10:30 AM - 12:00 PM

Leadership FSW Latinos en Accion -- Carver Center
Bring flyers and brochures

January 30, 2016

Saturday

- 10:00 AM - 10:30 AM 5 Steps to 5 -- Carver
- 10:30 AM - 11:30 AM Immigration Clinic -- Carver Center
- 12:00 PM - 5:30 PM Karate, Dance, Tutoring, soccer, swimm and computer programs -- Carver Center
Distribution of flyers with forums dates and brochure with early voting and cumulative voting system explanation.

February 01, 2016

Monday

- 12:00 PM - 3:00 PM Carver Center Family Services -- Carver Center
MIDA Alex Chavarria 12- 2 pm
Food Pantry 1-3pm

February 02, 2016

Tuesday

- 8:00 PM - 8:30 PM Citizenship classes
Talked about the program with the students of this class and distributed registration forms
- 8:30 PM - 9:00 PM NAACP
Distributed flyers

February 03, 2016

Wednesday

- 6:30 PM - 8:00 PM BOCES ESL Computer Classes -- Carver Center
- 7:00 PM - 9:00 PM Basketball game, Teens Center, Karate, fitness and Swimming programs

February 05, 2016

Friday

- 8:40 AM - 9:40 AM Second Cup of Coffee
- 10:30 AM - 12:00 PM Leadership FSW Latinos en Accion -- Carver Center
Bring flyers and brochures
- 9:00 PM - 10:30 PM Nueva Vida
Bring brochures and flyers with Forums dates to be distributed.

Talking Points:

The main purpose of these Voter Education forums is to educate Port Chester residents about changes to how Village Trustees are elected. We also seek: to increase voter

Port Chester Village Court

Regina Hill, Court Clerk

February 9, 2016

- Assist the Judge on the Bench during court sessions on Mondays, Thursdays and Fridays
- Traffic night court 1/26/16, 2/2/16
- Processed Criminal Disposition Reports (CDRs) after court
- Count daily cash taken in by every clerk
- Prepare daily deposits on designated days and take deposit to drop box at the bank
- Completed court paperwork after court sessions
- Update excel spreadsheets with Bail disbursements from court
- Electronically transmitted 193 Criminal Dispositions Reports (CDRs) to New York State Division of Criminal Justices Services as of February 9, 2016
- Reconciled Judge Troy Justice Account. Ending Bank Balance as of 1/31/16 - \$55,531.53
- Prepared January 2016 Monthly Report to the N.Y. State Comptroller's Office- Justice Court Fund for Judge Troy - \$52,295.50 to be reviewed and electronically submitted by Judge Troy
- Reconciled Judge Castaneda Account. Ending Bank Balance as of 1/31/16 – \$66,383.80
- Prepared January 2016 Monthly Report to the N.Y. State Comptroller's Office- Justice Court Fund for Judge Castaneda \$68,250.30 to be reviewed and electronically submitted by Judge Castaneda
- Reconciled Judge Sisca Justice Account. Ending Bank Balance as of 1/31/16 -\$93,259.41
- Prepared January 2016 Monthly Report to the N.Y. State Comptroller's Office- Justice Court Fund for Judge Sisca - \$94,154.55 to be reviewed and electronically submitted by Judge Sisca
- Reconciled Tow Account. Ending Bank Balance as of 1/31/16 - \$755.00
- Prepared vouchers and Payroll to be sent to the Finance Department
- Staff Meeting held on January 20
- Training new hire

MEMORANDUM

To: Christopher D. Steers
Village Manager

From: Heather Krakowski
Recreation Supervisor

Subject: Monthly Report (January 2016 –February 10, 2016)

Date: February 10, 2016

Please see a list of meetings I have attended and a list of programs that are running or upcoming. This list is usually included in my monthly reports to the Recreation Commission.

Meetings

1/7 Agenda meeting
1/13 Agenda meeting
1/13 Recreation Commission
1/15 Clay Art- Ariel Plant
1/15 Camp Staff
1/20 Landtek – Turn Field Columbus Park
1/20 Agenda meeting
1/22 Emergency management meeting
1/23 Emergency management conference
1/24 L. Douglas, Treasurer -Budget
1/27 Agenda Review
2/3 Staff Meeting
2/8 Camp Staff
2/9 Carver Center Pool – Lifeguard Certs. - Learn to Swim – camp
2/10 Agenda Review
2/ 10 Recreation Commission Meeting

Programs/Events**Registered/ Attended**

After School Reading & Art
Starts November 2015-May 2016

40

After School 3rd – 5th Grade basketball
Starts **November 17th**

35

Drop – in Basketball
(Teens)

25

Coat Drive (starts November)

190

Winter Soccer
Starts **January 18th**

65 (Rec only)

Winter Clay Art Classes

14

Winter Mini Camp
February Break

6

UPCOMING Programs/Events**Registered/ Attended**

Floor Hockey
(1st and 2nd Grades)

Super Soccer Stars –Soccer
3, 4 and 5 year olds – March

Spring Youth Tennis
Starts April

Spring Soccer
Starts April

Easter in the Park
March 19th

Day Camp

20

Cub Camp

5

From January 14th – February 10th

- **Organized and Overseeing currently running programs listed above**
- **Overseeing the After School Staff & park permits applications**
- **Organizing the upcoming programs (Examples – Winter Mini – Camp, Floor Hockey, Day Camp, Cub Camp, Playground Program)**
- **Completed Winter/Spring/ Summer Activities Brochure**
- **Working on Winter/ Spring / Summer Activities Schedule –Staff, Equipment**
- **Interviewed Seasonal Staff and Upcoming Programs (After School Programs)**
- **Coat Drive (coordinates with local cleaners, organizations and schools) coats distrusted throughout Port Chester**
- **Completed Budget 2016-2017**
- **Completed Capitol Projects Budget**
- **Completed Budget paperwork for Office of Children and Family Services**
- **Preparing staffing and schedules for Spring and Summer Programs**
- **Preparing Bus Bid for Summer Programs**



VILLAGE OF PORT CHESTER
DEPARTMENT OF PLANNING & ECONOMIC
DEVELOPMENT

222 Grace Church Street, Rm. 202
Port Chester, NY 10573
(P) 914.937.6780
(F) 914.939-2733

Eric Zamft, AICP, Director of Planning & Economic
 Development
 Andrea Sherman, Assistant Planner
 Constance Phillips, Planning Commission Secretary

ACTIVE PLANNING AND DEVELOPMENT INITIATIVES

PLANNING

INITIATIVE	SUMMARY	STATUS
<p>Redevelopment of the former United Hospital Site (Starwood)</p>	<p>Mixed-use redevelopment proposal for the former United Hospital site located within the Village’s PMU Planned Mixed Use District to permit: 500 “Millennial” housing units, 240 age-restricted housing units, an approx. 138-key limited service hotel, 100,000-200,000 square feet of medical office, approx. 90,000 square feet of retail, ample public and green space, and improved access to Abendroth Park.</p>	<p>The applicant has prepared draft sections of the Final Environmental Impact Statement. AKRF, SPR, Adler, and Dolph have been providing comments on those sections. Most of those comments have been sent to the Applicant for their review; a few sections are still under review by AKRF, SPR, Adler, Dolph and staff, including traffic, stormwater, utilities, and alternatives. In addition, AKRF has provided comments on the proposed zoning text and AKRF, staff, and representatives from Starwood will be meeting the week of 2/15 to discuss. AKRF is also continuing its economic analysis and anticipates presenting at a later BOT meeting. Staff has been meeting with AKRF and discussing the project with AKRF and SPR on a routine (weekly) basis to keep forward progress.</p>

Redevelopment of "Retail D"	Redevelopment proposal to amend the Marina Urban Redevelopment (MUR) Plan and Section 345-67 of the Village Code to create a mixed use project.	Applicant presented zoning petition to the BOT April 2015 and to the Planning Commission May 2015. Applicant submitted revised petition October 2015 which included incorporation of Planning Commission, Board, and Staff comments. The Board adopted a resolution scheduling a presentation by the Applicant for Oct. 19 with a subsequent joint public hearing with the Planning Commission on November 2, 2015. The joint public hearing was opened on January 19, 2016 and closed on February 1, 2016. Waterfront and traffic issues needed to be resolved. Waterfront, SEQRA, and zoning to be discussed at February 16, 2016 BOT meeting.
Port North Zoning Petition	Proposal to create a new North Main Street Gateway District, in conjunction with a site plan proposed for 531/601 North Main Street.	BOT accepted petition at January 19, 2016 meeting. Applicant presented at December Planning Commission meeting. Applicant to submit additional information in advance of March 7, 2016 BOT meeting, per a meeting with staff on February 12, 2016.
Project Proposal Forms	Intake and processing of proposals which may require review by the Planning Commission, Zoning Board, and Waterfront Commission.	Ongoing. Allow for tracking market trends relative to existing zoning provisions.
Planning Workshops	Workshop meetings with the Planning Commission to discuss various topics regarding the implementation of	Ongoing.

	Comprehensive Plan recommendations and zoning amendments for BOT review.	
LWRP Coastal Assessment Forms	Intake and processing of proposals that require review by the Waterfront Commission.	Ongoing.
Lot Line Adjustment Forms	Intake and processing of proposals that require a lot line adjustment.	Ongoing. Posted to website in February 2016.

GRANTS

INITIATIVE	SUMMARY	STATUS
Grant Writing Services: Millennium Strategies, LLC	A major priority of the village continues to be grant application submissions throughout local, state and federal sources. A professional grant writing firm to augment services provided by village staff bolsters successful applications.	Millennium and Staff currently assessing anticipated 2016 grants (all sources) in relation to village priorities for best approach for application.
Dept. of State Grant: Bulkhead Design and Construction Documentation + Permits	Application, management and oversight of awarded 2013 Department of State Local Waterfront Revitalization Program grant for the repair of the collapsed bulkhead with new public activity platform: implementation of for final design and construction documentations plus all applicable permits for the collapsed bulkhead. Application, management and oversight of other applicable local, state and federal grant opportunities.	DOS-LWRP FY2013-2014: awarded \$225,420 for design and construction plans + permits. Contract with DOS executed October 2014. BOT selected Boswell Engineering on July 6, 2015. BOT also adopted via resolution a bond to cover the full amount of the grant on November 2, 2015. The BOT established a project advisory committee per DOS contract agreement. Kick off meeting in January 2016. Director of Planning and Economic Development participated on a call with NYSDOS to discuss the status of the Bulkhead and LWRP projects. The call was informational and no action items are necessary.
New York State Regional Economic Development Council (REDC) Grant Funding	The Regional Economic Development Council initiative (REDC) is a key component of Governor Andrew M. Cuomo's transformative approach to State investment	Village currently discussing strategies for anticipated CFA 2016 program/grants with Millennium Strategies.

	<p>and economic development. In 2011, Governor Cuomo established 10 Regional Councils to develop long-term strategic plans for economic growth for their regions. The Councils are public-private partnerships made up of local experts and stakeholders from business, academia, local government, and non-governmental organizations.</p> <p>The Regional Councils have redefined the way New York invests in jobs and economic growth by putting in place a community-based, bottom up approach and establishing a competitive process for State resources.</p>	
New York State Community Development Block Grant Funding	State funding through the Office of Homes and Community Renewal (OHCR) including housing, public infrastructure, public facilities, economic development, etc. Total funding allocated for Westchester Communities is \$4.1 million.	Awarded. Staff is working with the Village Attorney to provide the requisite paperwork to OHCR to begin the project. Staff will attend an upcoming workshop.
New York State Environmental Facilities Corporation – State Revolving Fund	New state program to facilitate the replacement and repair of wastewater infrastructure and to fund projects that will result in the greatest reduction in risk to public health. Eligible projects include rehabilitation of wastewater treatment plants, repair/rehabilitation of sanitary sewers, and energy efficiency upgrades to wastewater treatment plants.	Staff consulted with Village Engineer and Dept. of Environmental Conservation plus offices of Senator Latimer and Assemblyman Otis. Staff submitted Intended Use Plan (IUP) applications by Sept. 4 deadline and received confirmation of such projects added to the IUP. Awards anticipated early 2016. Staff continuing working with Village Engineer and Millennium Strategies for anticipated 2016 follow-through.

ENVIRONMENTAL PLANNING

INITIATIVE	SUMMARY	STATUS
FEMA Emergency Management Planning	The Federal Emergency Management Agency aims to build, sustain, and improve our capability to prepare for, protect against, respond to, recover from, and mitigate all hazards. The Village is currently undertaking an action plan for hazard mitigation and resiliency planning, and staff will continue working with FEMA to execute proper procedures concurrent with local, state, and federal objectives.	Village staff have met on multiple occasions with FEMA representatives to provide an overview of village operations. Staff will continue to work with FEMA to execute high standards for public safety as related to disaster mitigation.
Hazard Mitigation Planning (County-wide Plan)	Westchester County preparation county-wide hazard mitigation planning, i.e. hurricanes, blizzards, flooding, etc. Completion ensures eligibility for emergency management funding.	Final draft report distributed to municipalities April 2015. Staff presented report at the May 18, 2015 meeting. Draft report reviewed and approved by FEMA and Westchester County. BOT must adopt inclusion into County-wide plan early 2016 to ensure federal funding opportunities for hazard mitigation and/or disaster recovery.
MS4 Permit Management	Municipal separate storm sewer system (MS4) permit required by Federal Government under the Environmental Protection Agency (EPA) National Pollutant Discharge Elimination System (NPDES) program to prevent harmful pollutants from being washed or discharged into a waterbody.	Annually. NYSDEC Audit completed June 2 for compliance review. Village Staff provides structure and assistance for future audits.
Local Waterfront Revitalization Program (LWRP)	Update to adopted 1992 village waterfront policy and vision plan. Guidelines for Waterfront Commission project consistency review.	BOT adopted a resolution authorizing new trajectory work on the draft LWRP. NYSDOS indicated that their staff is currently reviewing the last submission; once they are satisfied, a draft of the LWRP will be made available for public comment – for 60 days. After that 60-day period, depending on the feedback received, the Village would be able to adopt the LWRP locally; the State and Federal adoption of the LWRP would take longer, but would not impact our ability to utilize it to evaluate projects.

VISIONING, BRANDING, AND ECONOMIC DEVELOPMENT STRATEGIES

Economic Development Promotional Material	Economic development promotional materials citing Comprehensive Plan, Strategic Plan, LWRP vision. Coordination with IDA Strategic Planning efforts.	Ongoing. Staff works with the Industrial Development Agency and provides project information where applicable.
150 th Anniversary	Proposed formation of a steering committee to complete specific beautification projects in anticipation of the Village's 150 th anniversary in 2018. Possible projects include: <ul style="list-style-type: none"> • Streetscape improvements • Area branding • Placemaking Charette • Historic preservation designation • New/improved greenspace and/or bike and pedestrian amenities • Area-wide programs/events/initiatives 	Announced December 11, 2015, the Mid-Hudson Regional Economic Development Council awarded Port Chester a \$10,000 grant under the Empire State Development – Market New York program. Grant focuses on promotional strategies to regionally market Port Chester in light of the village's 150 th anniversary in 2018. Committee to be established

ADMINISTRATION

INITIATIVE	SUMMARY	STATUS
Records Management	Maintains and records all planning, zoning files including escrow accounting for active applications	Ongoing
Board/Commission Management	Staff, professional development; professional certification	Ongoing
IDA Management	Records and maintains all IDA files; liaise between Village and IDA.	Ongoing
Web Management	Maintains Planning, Zoning IDA, LDC webpages.	Ongoing

Planning Commission, Zoning Board of Appeals, and IDA Applications

The Office of Planning & Economic Development oversees activities for the Planning Commission, Zoning Board of Appeals, Waterfront Commission, Industrial Development Agency and Board of Trustees. Below are two tables of both active and recently approved applications managed by the Office of Planning & Economic Development. Additional information is available through the Office's website (http://www.portchesterny.com/Pages/PortChesterNY_Planning/index).

ACTIVE PLANNING APPLICATIONS

Address	Project Description	Status of Project
70 Grove Street	Site plan approval for legally non-conforming auto body, office uses.	Public hearing adjourned to February 2016.
314-316 Boston Post Road	New retail and office building of approximately 20,000 sqft.	Public hearing continued to February 2016.
141 Abendroth Ave	Site plan conditions amendments.	Public hearing continued to February 2016.
411 Westchester Avenue	Special Exception use renewal.	Public meeting scheduled for February 2016.

APPROVED APPLICATIONS

Address	Project Description
74-78 Fox Island Road	Wireless facility upgrade on DPW smoke stack.
400 N Main Street	Accessory storage structure for restaurant use.
509 Boston Post Road	New boutique health club facility.
14 University Place	New property structures, tenant storage units.
110 Westchester Ave	New dental office.
74, 98 Fox Island Road	Relocation of existing laundry facility at 98 Fox Island Road to 74 Fox Island Road with expansion of existing warehouse at 98 Fox Island Road.
110 Westchester Ave	New dental office.
10 Pearl Street	Demolition of existing building for new restaurant and four floors of office.
29, 37-39 N Main Street	Expansion of existing restaurant into outdoor patio space.
10 Bulkley Ave	Site plan approval for woodworking shop.
141 Willett Ave	New health club.
21 Abendroth Ave	Shared parking approval.
141 Willett Ave	New health club.
120 N Pearl	New multi-family building (50 units) with high-end amenities + parking.
163 N. Main	Tarry Market Alley way.
8 Slater	Warehouse expansion for vehicle storage.
25 Willett Ave	Creation of American Bar & Restaurant.
242 King St	Expansion of existing office building.
264 Boston Post Road	Legalization of freezer at existing drive-thru restaurant.
411 Westchester Ave	Modification of existing base station and renew existing special exception use permit for wireless telecomm facility (Verizon).
411 Westchester Ave	Modification of existing base station and renew existing special exception use permit for wireless telecomm facility (Sprint).
135 S Main Street	Site plan approval for construction of two new two-family residences.
117 N Main Street	Open a family oriented Papa John's pizza restaurant.

999 High Street 167-169 Terrace Ave	Renewal for special exception use permit for wireless telecomm facility (AT&T). Modification of existing base station and renew existing special exception use permit for wireless telecomm facility (Sprint).
999 High Street	Modification of existing base station and renew existing special exception use permit for wireless telecomm facility (Sprint).
222 Grace Church St	Modification of existing base station and renew existing special exception use permit for wireless telecomm facility (Sprint).
45 Townsend	Remove an existing two family dwelling and use the parcel for open storage of materials.
126 North Main St 33 New Broad St 152 King Street	Gastropub styled restaurant featuring weekend acoustic performances. Open micro distillery as part of larger sustainable/farming operation. Proposed interior renovations to a 1-story building to convert existing repair bays to a convenience store.
96 Perry Ave 145 Westchester Ave	Two-lot subdivision Expansion of use and operation of the space by annexing it into the adjacent existing overall operations of The Capitol Theatre.
149-151 Westchester Ave	Capitol Theatre expansion of capacity use/increase occupancy from 1,835 to 2,205; add exterior walk in cooler, use of sidewalk hydraulic material lift and addition of mobile stand up bars.
36 Midland Avenue 104 North Main Street	Installation of sectional overhead doors & relocation of 3 parking spaces. Reconfigure existing takeout restaurant & expand kitchen & dining room into existing adjacent tenant spaces, renovate existing basement for auxiliary use to restaurant on 1st floor, install new NFPA Sprinkler System throughout entire building.
110 Midland Avenue	Installation of a self-contained cosmetic spray booth within open warehouse space in accordance with Westchester County emission permit.
110 North Main Street	Raise existing roof structure to provide habitable space. Existing 2nd floor to be used as an office, storage, private dining and a service kitchen for private dining.
400 Westchester Ave	Construct a rear handicap-accessible rear facility entrance with canopy and fence; Replace playground equipment
275 Boston Post Road	Renovate existing vacant food service establishment into a Popeye's franchise restaurant with drive-thru.
110 Westchester Ave	Provide pedestrian access from Village owned muni parking lot to rear of common property line, install new exit door, walkway with lighting new fencing and new lawn.
26 Putnam Ave	Site Plan approval for continued use of an existing Sign/Graphic Design Shop (2nd fl.) and approval for a change of use (1st fl.) for current non-conforming use as a laundromat.
21 Abendroth 411 Westchester Ave 500 N. Main Street 110 Midland 3 West Street 528 Willett Ave	Shared parking approval Modification of existing wireless facilities. Health club approval Amendment to approved site plan; special exception use. New two-family home with on-site parking. Site plan approval for new underground storage tank, site improvements and convenience store.

POLICE DEPARTMENT
PORT CHESTER, NEW YORK

MONTHLY REPORT JANUARY 2016

Training:

- On January 15th Detectives Thomas Munnely and Chris Krzeminski successfully completed the Homicide Investigator Course conducted by the New York City Police Departments Detective Bureau. This prestigious two week course of study is considered among of the finest of its type in the nation. The training evolution marks the Departments 2nd training collaboration with the NYPDs Detective Bureau.
- Detective Marcello Presta and Police Officer William Krzeminski successfully completed the Advanced Handcuffing Instructor Course conducted by Safariland Corporation in New Jersey. This 3 day course of study qualified Det. Presta and PO Krzeminski to instruct members in the latest advancements in handcuffing techniques. We expect their newly developed expertise to be an integral part of our defensive tactics curriculum.
- On January 11th of Probationary Police Officers Leonard Carriero, Yovani Lago, and Kenneth Manning began training at the 142nd session of the Westchester County Police Academy. The 20 week course of study is designed to provide recruit officers with the skill necessary to begin their careers as Police Officers. Traditional topics such as; first aid, defensive tactics, legal issues, and firearms are covered along with segments on terrorism and hazardous materials.

Statistics

Tickets and Arrests

CATEGORY	Dec. 2015	Jan. 2016
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PARKING TICKETS	4235	4550
TRAFFIC TICKETS	339	539
ARRESTS	158	115
SCOFFLAWS	13	25

FBI Part 1 Crimes

CRIME CATEGORY	Dec. 2015	Jan. 2016
MURDER	0	0
RAPE	0	0
ROBBERY	2	2
ASSAULT	5	4
BURGLARY	3	2
LARCENY	57	33
MOTOR VEHICLE THEFT	3	1

Common Calls for Service

CALL FOR SERVICE	JAN. 2016
ACCIDENTS	118
AIDED CASES, MEDICAL	175
ALARMS	118
DISTURBANCES	65
DRIVING WHILE INTOXICATED	16
JUVINILE INCEDENTS	5
ALCOHOLIC BEVERAGE LIC CHECKS	47
WARRANT ARRESTS	8
DISORDERLY CONDUCT	7
SCHOOL CROSSINGS	8

Breakdown of Parking Tickets Issued in marina lot

Description of violation	2015, all	Jan. 2016
Abandoned Vehicle 24 hrs	7	
Blocking Driveway	1	
Double Parking	3	1
Expired Inspection	485	40
Expired Registration	203	19
Expired Meter	2	
Handicapped Only	25	

Loading Zone	2	
Limited Time Parking	154	5
Limited time Marina	169	6
No parking to Corner	1	
No Parking 1am-6am	31	3
No Parking or standing	88	2
Overtime Parking	2	
Permit Parking only	2	
Nighttime Marina	532	24
Nighttime Parking Prohibited	2	
Parked on sidewalk	1	
1 plate/ loose/dirty	40	1
12 inches from curb	1	
rear wheel to curb	1	
Total	1752	101

Monthly Report - Port Chester Senior Center (Nutrition Program)

February, 2015

21,429 Meals served to date

**40 Home Bound Seniors received their meals at home, per day Monday-Friday
60 seniors attend the Saturday Program.**

Senior Center Calendar:

Sunday, 2/7-Super Bowl Party 4-10 p.m., Saturday, 2/13, Valentine's Day Party with Kiwanis Club 10-3 p.m., Tues. 2/16, Shopping trip to Acme Foods & CVS, Monday 2/22-Arts & Crafts, Thursday, 2/25, Anton Adler reenactment of actual Law & Order cases. Sat. 2/27-Trip to Mohegan Sun Casino.

The following candidates for trustee have scheduled the following dates at the senior center.

Luis Marino 2/29- 1 p.m. ice cream social 3/1-Bart Didden 3/2-Alex Chiavarria 3/3—Gene Ceccerelli and Frank Ferraro and 3/4 Luis Marino, Dan Brakewood and Greg Adams all will be hosting lunch for the seniors.

Every Thursday—Zumba 10:30 a.m. Every other Tuesday Tai Chi—10:30 a.m. Art Class every Friday morning at 10-12, Bingo Wed and Thurs afternoons Mah Jong played every Friday afternoon at 1 p.m. Ang Rubino singers every Friday at 1 p.m.

Community Center Calendar:

Feb. 10th-PCYBL meeting, Recreation Meeting, Park Commission Feb. 9th-Coast Guard Meeting, 2/4—PCYBL Baseball meeting, 2/6 Voter Training (Dave Thomas) 2/13—Valentine's Day Party for Seniors with Kiwanis Club 2/7—Super Bowl Party, 2/23—Senator Latimer, State budget requests.

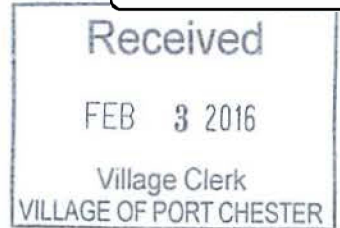
Insurance complaints being addressed. CDBG Grant notification received \$106,000 for new bus and kitchen equipment.

submitted—2/12/2016 Carol Nielsen



Mellor Engine & Hose Co. No 3, Inc.

P.O. BOX 575
PORT CHESTER, NEW YORK 10573



Gregg Gregory, *President*
Daniel Romanello, *Vice President*
John Colucci, *Treasurer*
Donna Gordiski, *Secretary*

Luis Marino, *Captain*
Leslie Murphy, *1st Lieutenant*
Scott Sprague, *2nd Lieutenant*
Frank Gordiski, *Sergeant*
Peter Mutz, *Chief Driver*

February 2, 2016

Village of Port Chester
Village Clerk
222 Grace Church St.
Port Chester, New York 10573

To whom it may concern:

The members of Mellor Engine & Hose Company #3, Inc. have elected Mr. Brian Rodriguez to active membership in our Company. This action took place during our regular monthly meeting on February 1, 2016.

Mr. Rodriguez resides at 80 Poningo St., Port Chester, NY 10573. We believe that Mr. Rodriguez will be an asset to the Port Chester Fire Department. Upon completion of the necessary physical exam requirements, Mr. Rodriguez will present a copy of this letter to your office.

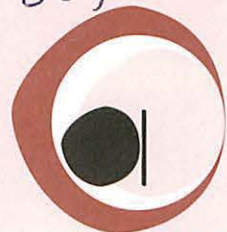
We hope the Village Trustees approve Mr. Rodriguez for membership in the Port Chester Fire Department.

Sincerely,

Donna C. Gordiski
Secretary of Mellor E&H Co. #3

Emailed Mayor + BOT

COR-02
BOT 2-16-2016



CLAY
ART CENTER

VILLAGE OF PORT CHESTER

February 2, 2016

Port Chester Village
22 Grace Church Street
Port Chester, NY 10573

FEB 05 2016

RECEIVED *M & BOT*

Dear Mr. Mayor and Port Chester Village Board of Trustees,

Thank you for your generosity in granting Clay Art Center with \$5,000 from your Youth line item in the 2015-2016 budget, allowing us to expand our reach to Port Chester youth and adults through free after school classes and family workshops.

As you know, Clay Art Center (CAC) is a nationally recognized non-profit center for the advancement and practice of the ceramic arts. Clay Art Center has been a champion for the arts in the community and is the largest and most active ceramic facility in the tri-state area, offering classes, camps and workshops for all ages and skill levels seven days a week. Our gallery and shop are open to the public 6 days a week, and admission is free. Believing strongly that the arts have the ability to touch and enrich lives, our mission is to offer a stimulating space for studio practice, exhibition and educational opportunities to better serve the community. Our vision is to "kindle a passion for the ceramic arts and provide a community for that passion to flourish."

As a result of the grant from the Village of Port Chester, we were able to provide:

- 12 full scholarship spots in after school and weekend youth classes for Port Chester residents (instead of subsidized partial scholarships for 16 residents)
- 12 adult scholarships to a wheel throwing workshop scheduled in March 2016
- 6 free intergenerational workshops, which allowed us to reach 90 Port Chester residents

We have also scheduled an additional 2 workshops for the remainder of the contract period, which will allow us to reach up to 30 more Port Chester community members. Additionally, we have 2 openings in our upcoming after school youth classes for subsidized tuition, and if these spots are not used, we will grant 1 full scholarships in each class in place of subsidized students. We have found that there is more need/interest for full scholarships for these programs.

Additionally, we will launch a program in the Spring with the Weber Community Gardens and the Port Chester Housing Authority, with the goal of integrating the community with Clay Art Center. The project will result in tile mosaic benches to be installed on the premises of the community garden site in the summer of 2016. Clay Art Center's workshops with the families who are involved in the garden project are all in addition to the already successful programs we run in Port Chester. In addition, we are seeking grant funding for a large scale mural project that would beautify a public space in Port Chester while engaging at-risk youth in Port Chester's Youth Police Initiative program. Our goal is to reach as many Port Chester families, adults, seniors and people with disabilities as possible to encourage them to join our community. Already we have many community partners here in Port Chester who collaborate with us on a regular basis for our community arts and outreach programming including:

- The Port Chester Elementary schools serving 1,040 annually
- The Port Chester Head Start serving 36 children annually
- The Port Chester Nursing and Rehabilitation Center serving 120 adults with Alzheimer's and dementia annually
- The Port Chester Middle School serving 90 teens annually
- The Port Chester High School serving 36 teens annually, and offering 10 paid internships each summer

- The Port Chester Recreation Department serving 72 children annually
- Hope House serving 35 adults with special needs annually
- Port Chester Cares community garden project, serving 20 families from the housing authority

We have also expanded our partnerships with these and other community organizations, including: The Latino Community Network, The Port Chester Senior Network, the Don Bosco Community Center, The Port Chester Senior Center, Family Services of Westchester, Open Door Medical Facilities, The Carver Center, and the Port Chester NAACP in order to help us identify and reach a broader audience for our workshops, classes and an upcoming exhibition and community building event.

We hope that you will also allow us to build on the success of the 2015-2016 contribution with an subsequent grant of \$5,000 for the 2016-2017 fiscal year.

Thank you so much for your consideration, and please let us know if you have any additional questions.

Warm Regards,

Leigh Taylor Mickelson
Executive Director

Judith Weber
Board President

2016-17 Budget:

- 8 Youth Full Scholarships for children's classes held during the school year
- 2 Adult workshops serving 24 adults with free tuition
- 6-8 Free family workshops held throughout the year (additional workshops supplemented by other funds)

Expenses

Teachers Fees	\$2250
Supplies (clay, glaze, tools)	\$900
Firing (firing technician + firing costs)	\$1100
Administration (at 15%)	<u>\$750</u>
	\$5000

Corpus Christi/Our Lady of the Rosary Church
136 S. Regent Street
Port Chester, NY 10573
914 939-3169

COR-03
BOT 2-16-2016

VILLAGE OF PORT CHESTER

FEB 10 2016

RECEIVED

JM

Honorable Mayor Dennis Pilla
Village of Port Chester
Honorable Members of the Village Board of Trustees
222 Grace Church Street
Port Chester, New York 10573

February, 2016

Honorable Mayor Pilla and Honorable Trustees:

On Good Friday March 25, Corpus Christi/Our Lady of the Rosary parishioners as well as many other villagers, will join together in a public re-enactment of Jesus' Passion and Death, the Via Crucis. The participants will gather on the street in front of Our Lady of the Rosary Church at 5:30PM for a prayer service followed by a procession in the streets beginning 6:00PM with the reenactment of the passion and death to Corpus Christi parking lot..

We request the closing of Don Bosco Place for assembling and the first stations to be enacted.

We respectfully request permission to use the route traveling north on Don Bosco Place turning left onto Purdy Avenue to South Main Street, continuing north on South Main Street to Westchester Avenue. We will turn left onto Westchester Avenue and travel to South Regent Street to the Corpus Christi parking lot where the service will terminate.

This event has been drawing close to one thousand people and we expect an equal or greater number to participate this year.

We respectfully request a police escort for this procession and a police presence at the closing service. The appropriate insurance certificate will be supplied to the Village Clerk's Office.

Thank you for your support in this matter and all the support the Board has extended to Corpus Christi/Our Lady of the Rosary Parish in the past.

Sincerely,


Rev. Patrick Angelucci, SDB
Pastor

PA: me
Cc: Christopher Steers, Manager
Mark Braccio, Police Sgt.
Edward Quinn, Fire Chief
Rocco Morabito, General Foreman
Scott Moore, E.M.S. Administrator



STEVEN OTIS
 Assemblyman 91st District
 Westchester County

THE ASSEMBLY
 STATE OF NEW YORK
 ALBANY

COR-04
BOT 2-16-2016

COMMITTEES
 Agriculture
 Corporations, Authorities and
 Commissions
 Environmental Conservation
 Libraries and Education Technology
 Local Governments
 Tourism, Parks, Arts, and
 Sports Development
 MEMBER
 Puerto Rican/Hispanic Task Force

February 8, 2016

VILLAGE OF PORT CHESTER

FEB 10 2016

RECEIVED
 M + VM

Hon. Dennis Pilla, Mayor
 Chris Steers, Village Manager
 Village of Port Chester
 222 Grace Church Street
 Port Chester, NY 10573

Dear Dennis and Chris,

I am writing to let you know that the Governor has announced the second round of funding for the clean water infrastructure grant program that I helped to create in last year's state budget. The NYS Water Infrastructure Improvement Act of 2015 originally provided for \$200 million in grants, over three years, to help municipalities fund much-needed wastewater and drinking water infrastructure projects.

As you may know, the initial round of funding under this program in September 2015 was an enormous success. Applications well exceeded expectations, surpassing over \$800 million in total project costs. In response, the Cuomo Administration, using federal funds, added another \$25 million in grants in order to reach more communities. As a result, the NYS Environmental Facilities Corporation was able to award \$75 million in grants to 45 projects, which leveraged more than \$440 million in clean water infrastructure improvements.

The second round of funding is for an additional \$75 million, with applications due by the close of business on **Friday, April 15, 2016**. The EFC will also hold a webinar on **February 24** at 10:00 AM to provide an overview of the grant criteria and the application process. For additional information and to register for the webinar, please visit the EFC website at www.efc.ny.gov.

There has been tremendous response to the creation of this clean water grant program.

The Cuomo Administration has enthusiastically embraced the program and did a great job with the initial rollout. Moreover, Governor Cuomo proposed an additional \$100 million in funding for the program in his 2016-17 budget submission and highlighted it in his State of the State address. A coalition of local government, environmental and construction groups has proposed increasing the program by at least \$800 million in the 2016-17 budget. In recent weeks numerous speakers at our state budget hearings have called for increasing the program as well.

Clearly, there is great need for these grants. I continue to work with all interested parties in trying to grow the program. If more money is allocated to the program in the adopted 2016-17 budget, additional grant funding will be made available in the current application round.

My immediate hope is that you will apply for this round and take advantage of this new funding opportunity. The grant program helps address water quality, local infrastructure, property tax relief and job creation in one funding stream. I am anxious to help you in applying for this important funding and to support your application at every step in the process. Please feel free to contact me or my chief of staff, Debra Lagapa, for more information or with any questions or concerns about the water grant program.

Sincerely,

A handwritten signature in black ink that reads "Steve". The signature is written in a cursive, slightly slanted style.

Steve Otis
State Assemblyman